



CITY OF CLEVELAND

Mayor Justin M. Bibb

Cleveland City Planning Commission

August 1, 2025

****PLEASE MUTE YOUR MICROPHONE****

Lillian Kuri, Commission Chair

Calley Mersmann, Director

Evelyn Rueda, Administrator

AGENDA

CONDITIONAL USES

- Residential Facility @ 1582 E. 86th St.
- EC2025-019 – Verizon
Telecommunication Antenna

NEAR WEST DESIGN REVIEW

- NW2025-013 – Henritze & Pearl Pocket
Park (Final)

CENTRAL SOUTHEAST DESIGN REVIEW

- CSE2025-026 – 6806 Harvard Ave Car
Sales Lot/Office (Final)

EUCLID CORRIDOR BUCKEYE DESIGN REVIEW

- EC2025-021 – Cleveland Foundation, A1
Building Demolition (Final)

DOWNTOWN/FLATS DESIGN REVIEW

- DF2025-032 – Rock Block Development:
Cosm Cleveland (Conceptual)
- DF2025-034 – Bedrock – Cosm/Rock
Block Construction Staging Area (Final)

SPECIAL PRESENTATIONS – PUBLIC ART

- NW2025-014 – The Love of Reading
(Final)
- TAF 9413 Sophia Avenue Project (Final)

LEGISLATION

SPECIAL PRESENTATIONS – (FOR INFORMATION ONLY)

- Lakefront Development RFQ



Cleveland City Planning Commission

P R E A M B L E

In compliance with notification requirements of Ohio's open meeting law and section 101.021 of the Codified Ordinances of Cleveland, Ohio, 1976, notice of this meeting has been publicly posted.

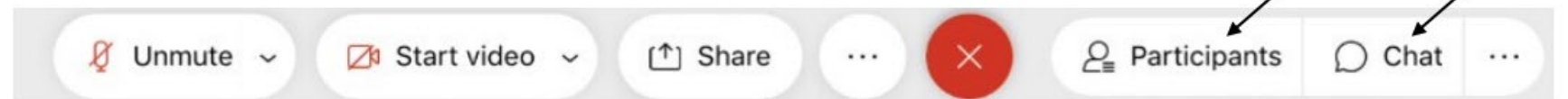
All boards and commissions under the purview of the City Planning department conduct their meetings in a manner modeled after Robert's Rules of Order. Actions during the meeting will be taken by voice vote. Recusals from any vote due to a conflict of interest should be stated for the record prior to the taking of any vote.

In order to ensure that everyone participating in the meeting has the opportunity to be heard, we ask that online participants use the raise hand feature before asking a question or making a comment. The raise hand feature can be found in the participants panel on the desktop and mobile version and activated by clicking the hand icon. Please wait for the Chair or facilitator to recognize you and be sure to select unmute and announce yourself before you speak. When finished speaking, please lower your hand by clicking on the raise hand icon again and mute your microphone.

We will also be utilizing the chat feature to communicate with participants. The chat feature can be activated by clicking the chat button located on the bottom of the Webex screen.



CALL-IN USERS CAN UNMUTE BY USING *6



August 1, 2025

Cleveland City Planning Commission

P R E A M B L E

All meeting activity is being recorded via the Webex platform.

These proceedings are also being live streamed via YouTube.

All requests to speak on a particular matter submitted through proper channels have been considered. We have also received emails from those who have provided written comment on a particular matter. Proper channels for comments are listed below.

Communication with members of this body must follow proper channels for consideration.

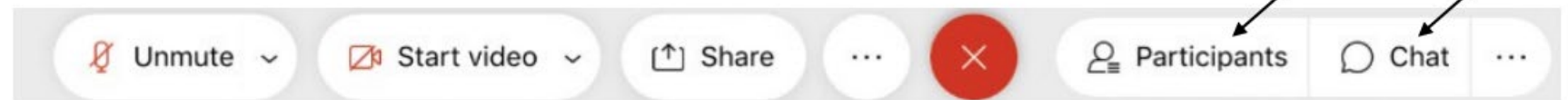
Any comments received by the **Wednesday 12:00 pm** deadline are collected by City Planning staff and disseminated to the Commission members prior to any scheduled meeting.

PROPER CHANNELS FOR PUBLIC COMMENT

- Sending an e-mail to the cityplanning@clevelandohio.gov address with a comment or a letter
- Calling and/or leaving a message at 216-664-2210
- Sending a letter or dropping off comments at City Hall (601 Lakeside Avenue, Suite 501, Cleveland, OH 44114)



CALL-IN USERS CAN UNMUTE BY USING *6



August 1, 2025

Cleveland City Planning Commission

MEETING RULES AND PROCEDURES

- The Chair will call each agenda item and then each applicant will be invited to proceed through their presentation.
- Each presentation should be completed prior to questions and comments from the Commission in order to facilitate a smooth presentation.
- Once the presentation has concluded, the Chair will ask Planning staff to summarize Design Review Advisory Committee recommendations (if applicable) and any public comments received.
- Public comments received through the proper channels by the deadline are distributed to Commission members prior to the meeting. Staff will also identify any members of the public present and scheduled to speak.
- Public comment is allowed at the discretion of the Chair and any individual providing public comment is permitted two (2) minutes to speak to the agenda item in which they have an interest.
- The Chair will then request a recommendation from staff, if applicable.
- The Commission will then begin deliberations and project review.
- Any Commission member, except the Chair, may make a motion at any point after an agenda item has been called.

Lillian Kuri, Chair

August 1, 2025

August Fluker, Vice Chair

Charles Slife, Council Member

Dr. Denise McCray-Scott

Erika Anthony

Andrew Sargeant

Cleveland City Planning Commission

Call to Order and Roll Call



CITY OF CLEVELAND
Mayor Justin M. Bibb

August 1, 2025

Cleveland City Planning Commission

Approval of Minutes from Previous Meeting



CITY OF CLEVELAND
Mayor Justin M. Bibb

August 1, 2025

Cleveland City Planning Commission

Conditional Uses



CITY OF CLEVELAND
Mayor Justin M. Bibb

August 1, 2025

Large Residential Facility for 10 persons

August 1, 2025

Project Address: 1582 E. 86th St.

Presenter: Xavier Bay, City Planner

Project Representative: Edward Fields

Ward 7: Council Member Howse-Jones |

SPA: Hough |

CDC: Famicos Foundation

1582 E. 86th St.

Conditional Use Permit

City Planning Commission Hearing

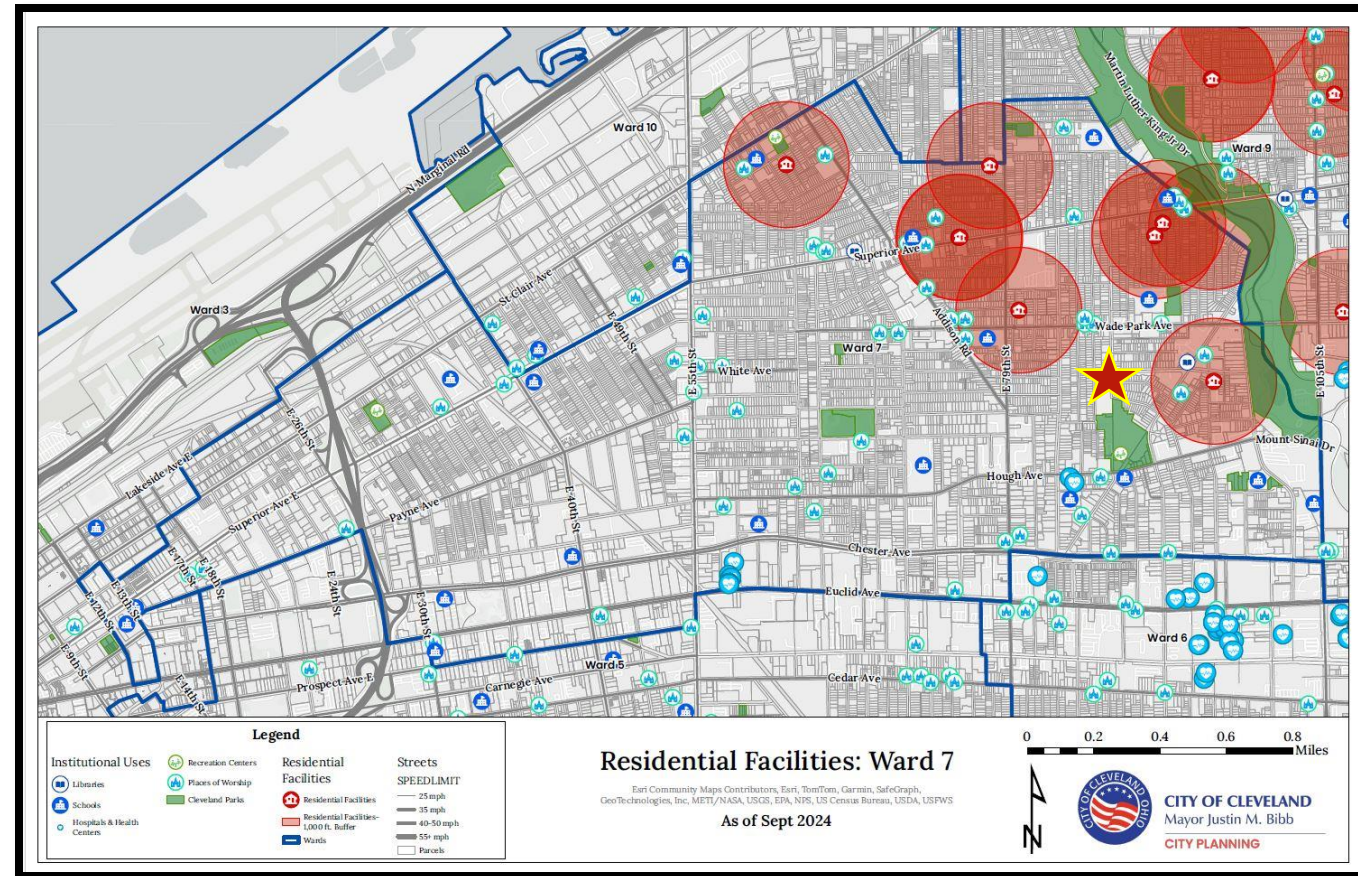
August 01, 2024

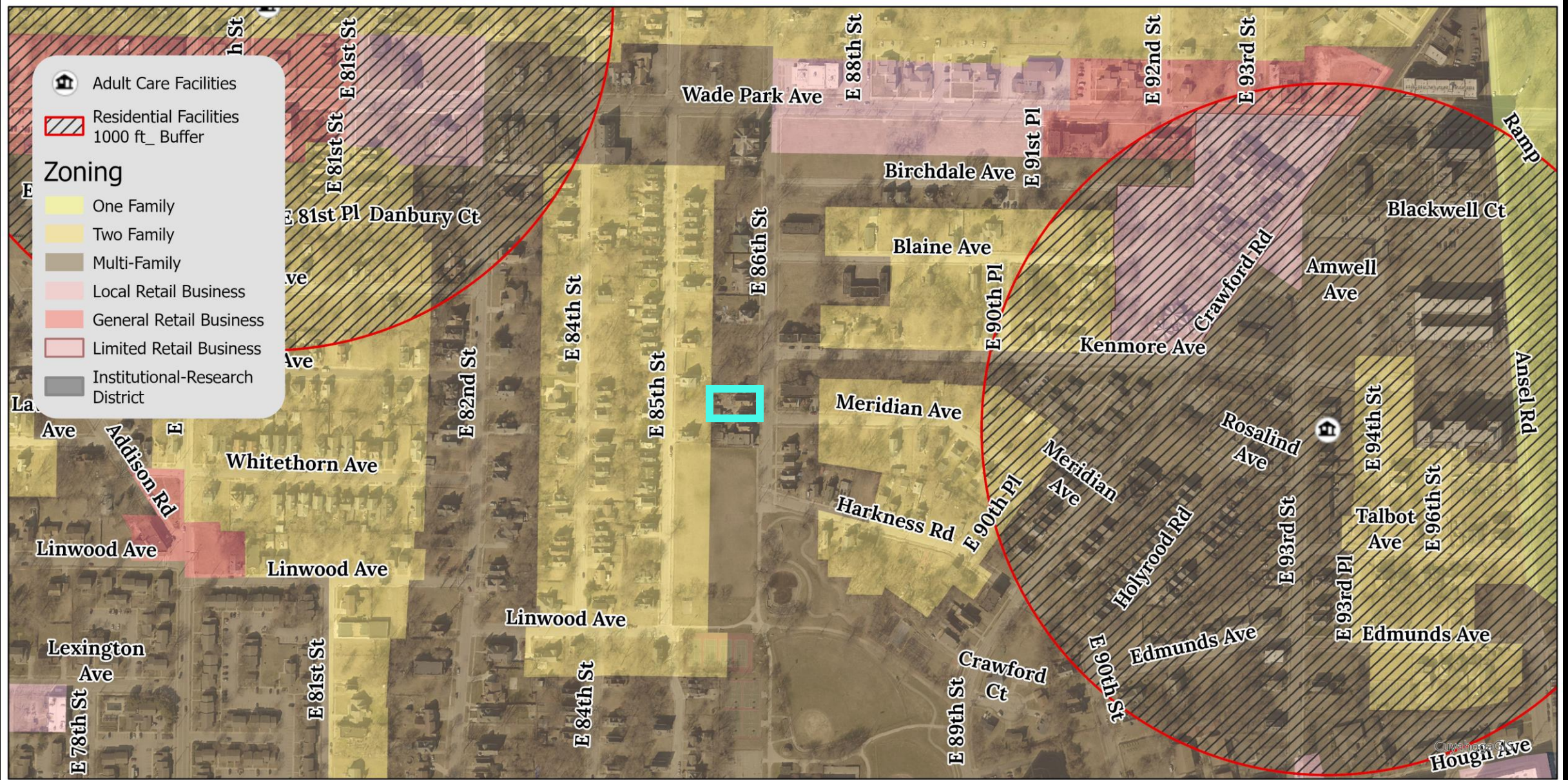


CITY OF CLEVELAND
Mayor Justin M. Bibb

CITY PLANNING COMMISSION

- **Current Zoning:** Multi Family Residential
- **Request:** Conditional use for large residential facility
- **Resident count proposed:** 10 persons
- **State Licensed:** Yes
- **Conditional Use Requirements:** 337.08 section (g)





Conditional Use Large Residential Facility

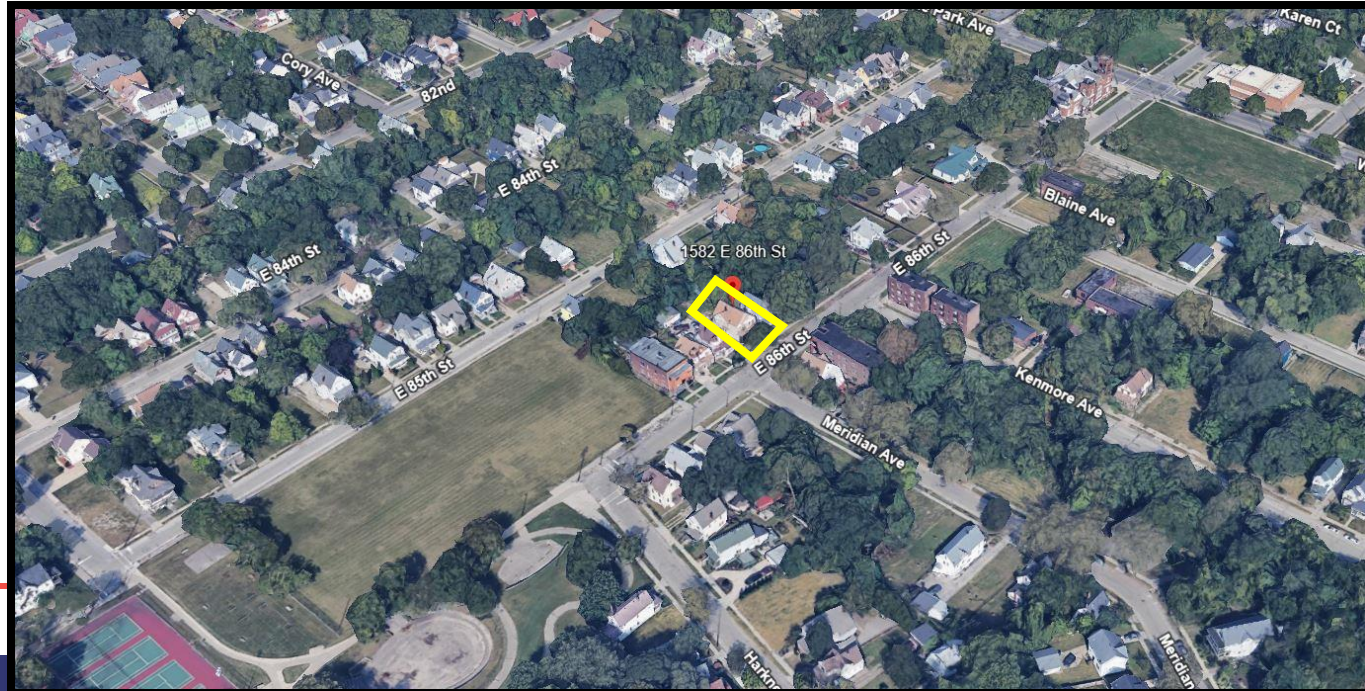
1582 E. 86th St



Residential Facility Conditional Uses & Criteria (337.08 (g) (1&2))

The City Planning Commission may approve a large state licensed residential facility that is for 6-16 persons as a Conditional Use if the project meets the following criteria:

- **Facility is not located within 1,000 feet of another residential facility.**
- The architectural design and site layout of the home and the location, nature and height of any walls, screens, and fences ***are compatible with adjoining land uses and the residential character of the neighborhood.***
- **The facility meets all applicable yard, parking and sign regulations in the Zoning Code.**

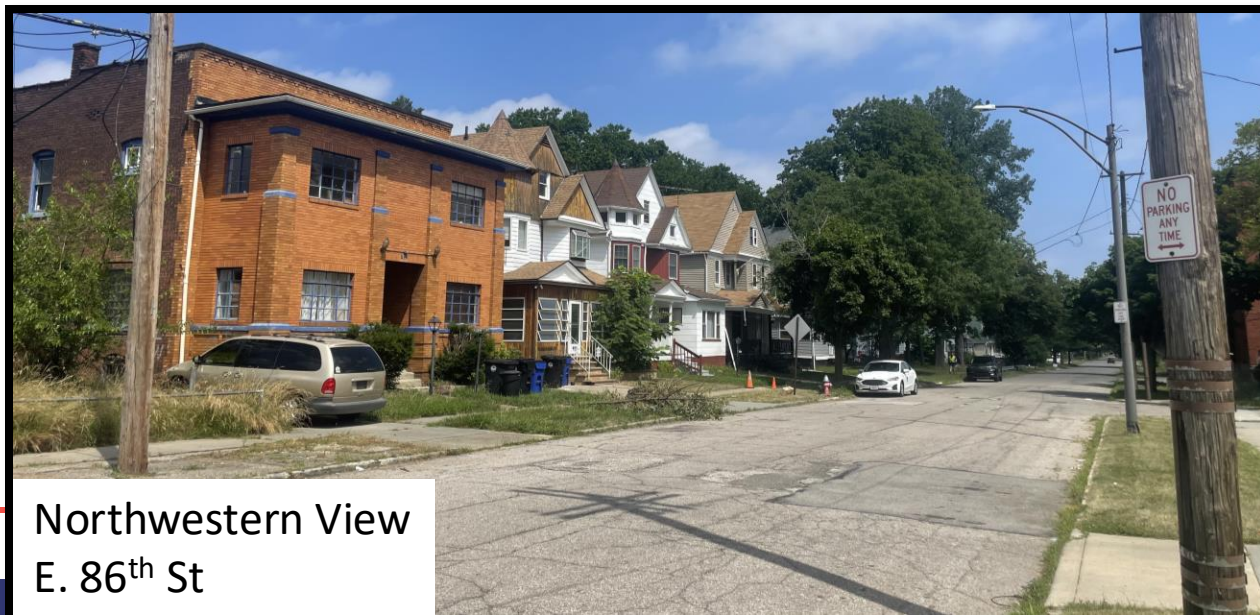




Eastern View
1582 E. 86th St



Northern View
E. 86th St

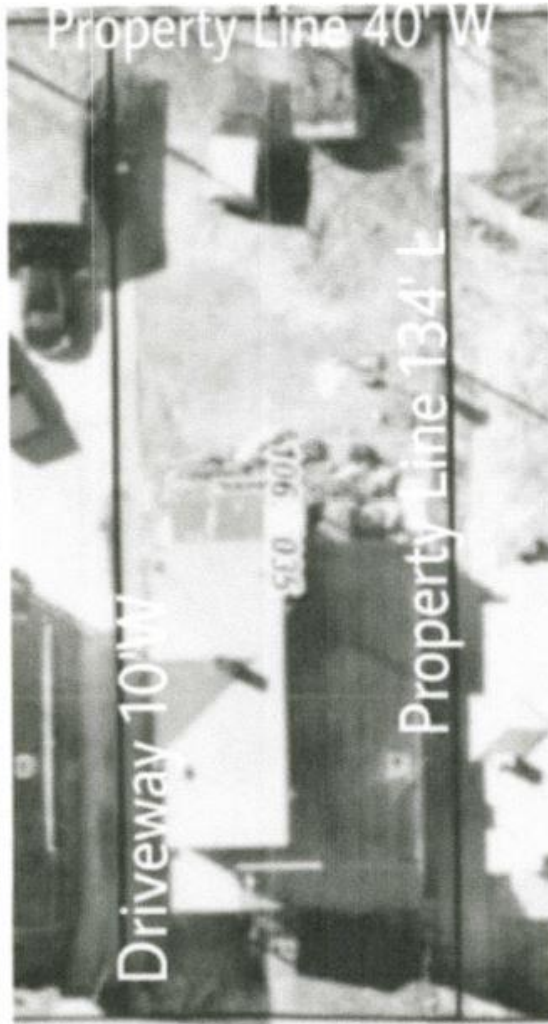


Northwestern View
E. 86th St

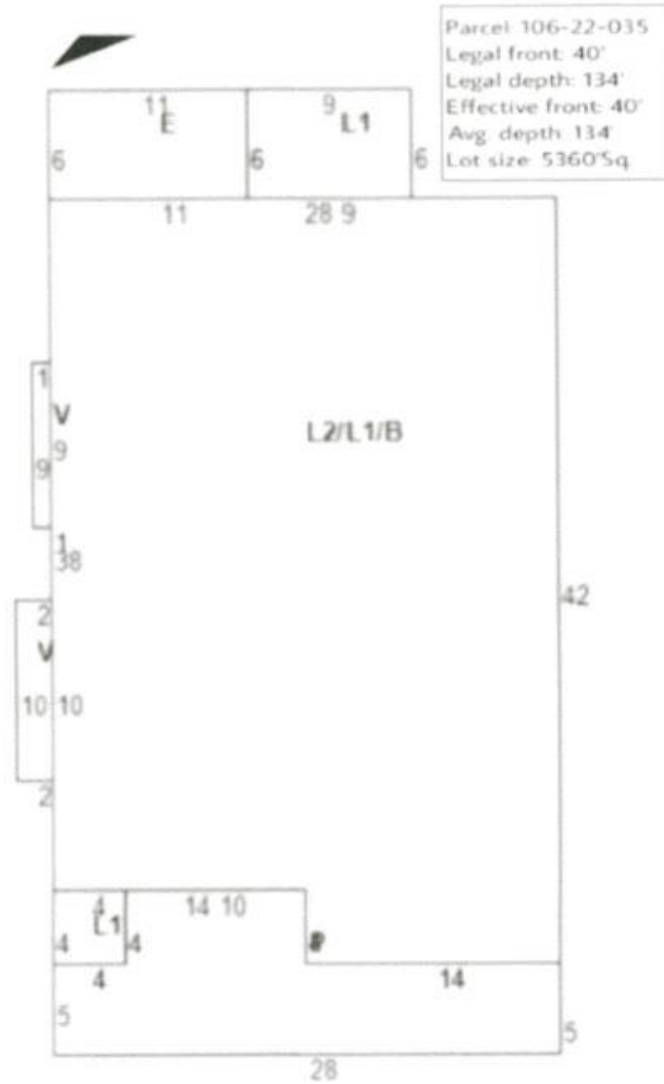


Southeastern View
E 86th St & Meridian Ave

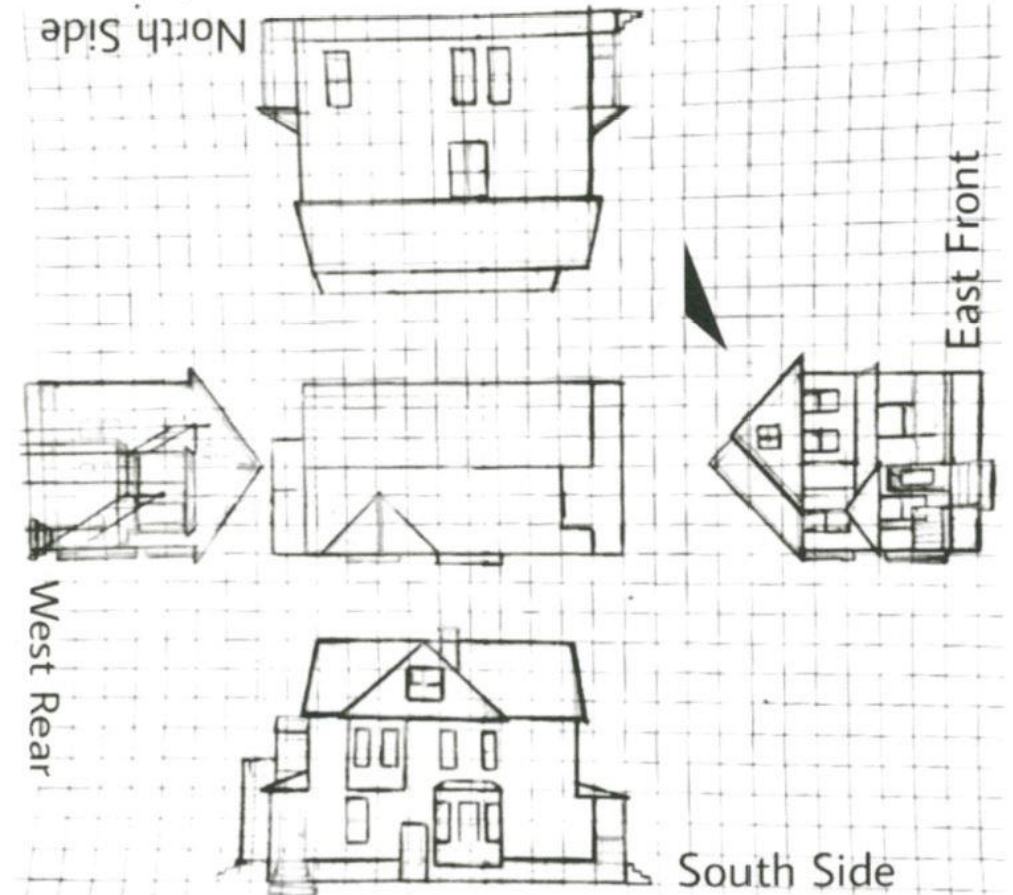
Site Plan

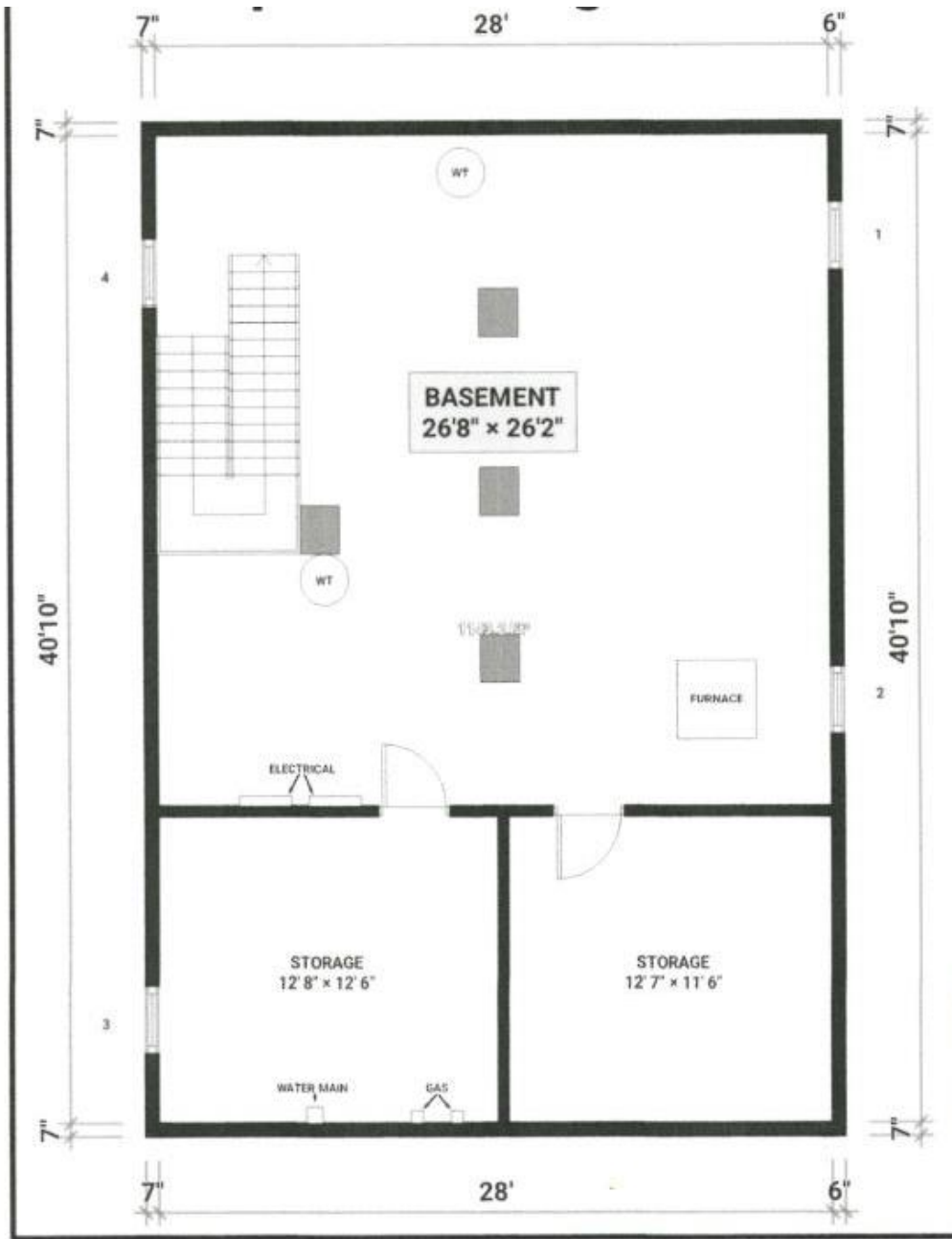


East 86th St.

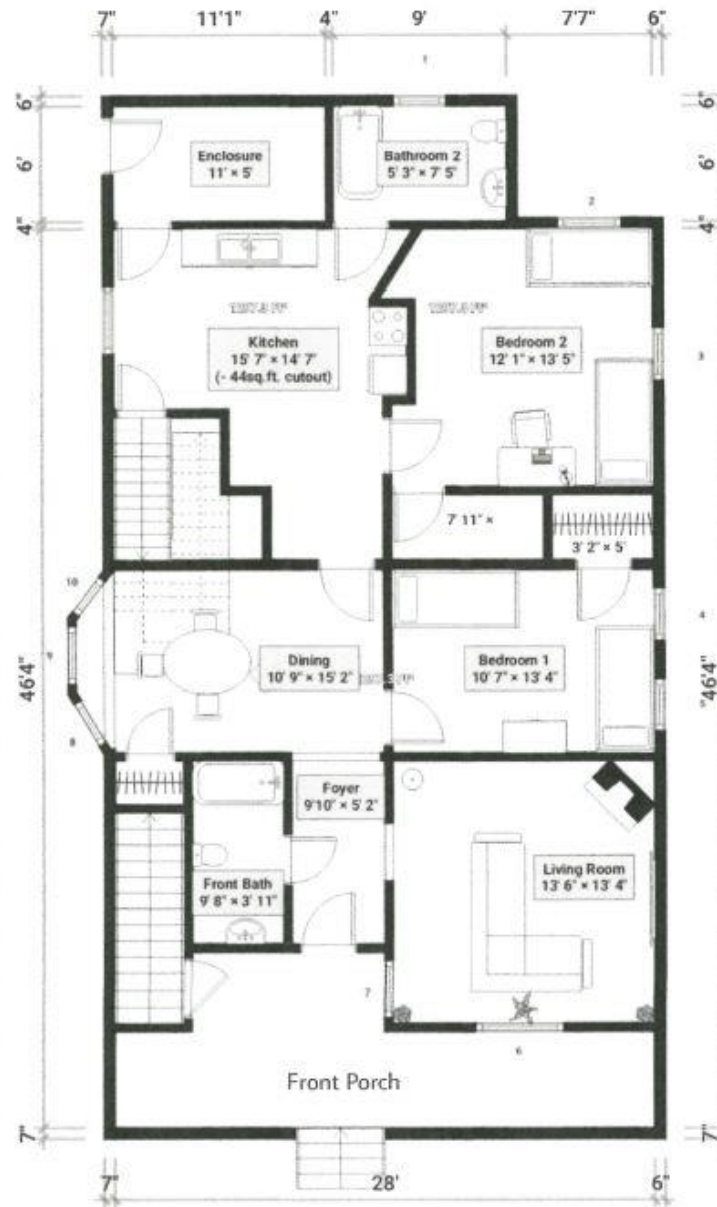


Views/ Elevation





Floorplan Layout - 1st Floor



Window Schedule

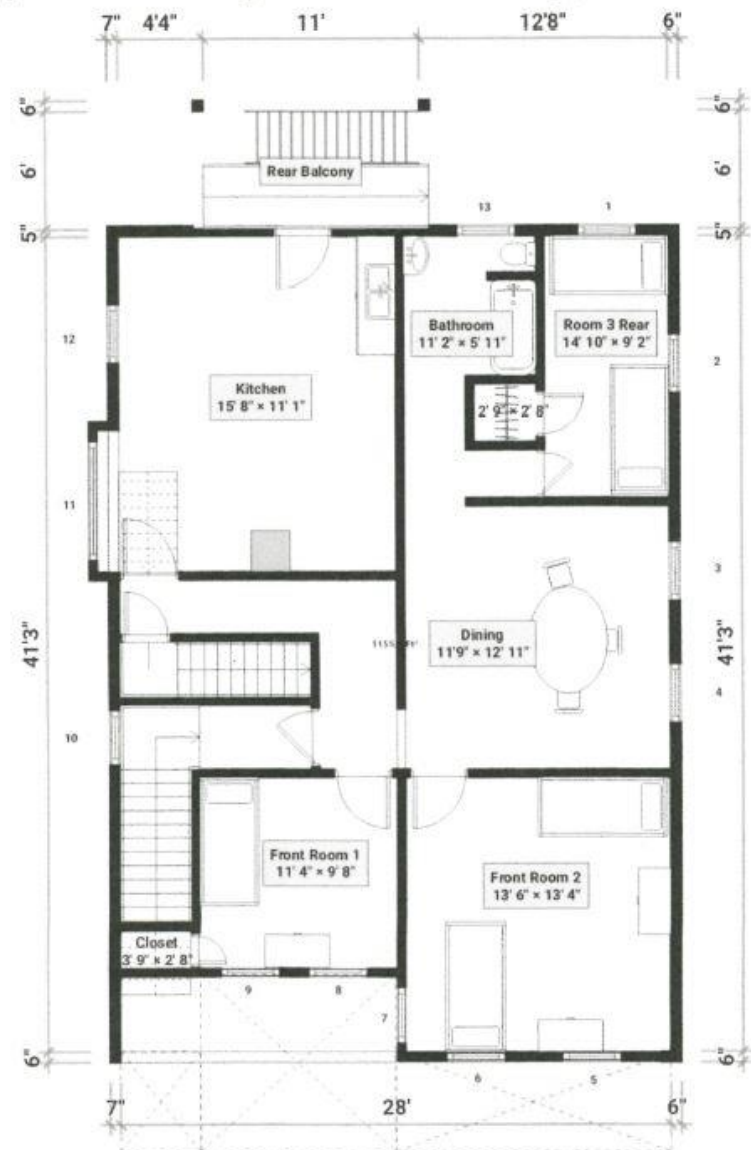
- 1 - 33" x 48"
- 2 - 40" x 75"
- 3 - 33" x 75"
- 4 - 33" x 75"
- 5 - 33" x 75"
- 6 - 55" x 75"
- 7 - 34" x 75"
- 8 - 34" x 75"
- 9 - 38" x 75"
- 10 - 38" x 75"
- 11 - 38" x 75"
- 12 - 42" x 77"

RECEIVED

JUN 13 2025

DO NOT WRITE

Floorplan Layout - 2nd Floor



Window Schedule

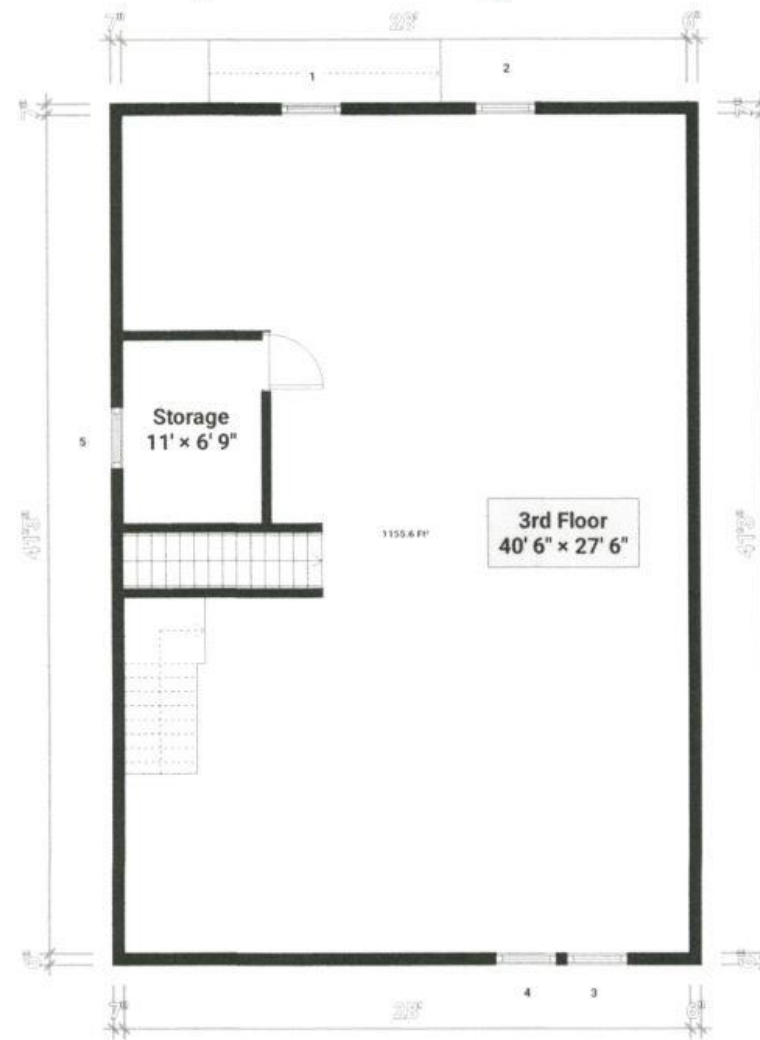
- 1 - 36" x 69"
- 2 - 36" x 69"
- 3 - 36" x 69"
- 4 - 36" x 69"
- 5 - 36" x 69"
- 6 - 36" x 69"
- 7 - 36" x 69"
- 8 - 36" x 69"
- 9 - 33" x 44"
- 10 - 36" x 69"
- 11 - 72" x 69"
- 12 - 36" x 69"
- 13 - 36" x 69"

RECEIVED

JUN 13 2025

BOARD OF
ZONING APPEALS

Floorplan Layout - 3rd Floor



Window Schedule

- 1 - 33" x 55"
- 2 - 33" x 55"
- 3 - 22" x 25"
- 4 - 22" x 55"
- 5 - 30" x 50"

RECEIVED

JUN 13 2025

BOARD OF
ZONING APPEALS

Conditional Use Requirements

- **Facility is not located within 1,000 feet of other residential facility**
- The architectural design and site layout of the home and the location, nature and height of any walls, screens, and fences ***are compatible with adjoining land uses and the residential character of the neighborhood.***
- **The facility meets all applicable yard, parking and sign regulations in the Zoning Code.**

First permitted in Multi-Family Residential District with Conditional Use from CPC when not located within 1,000 feet of another facility.

Property is located within a Multi Family Residential District and is not within 1,000ft of another residential facility.

EC2025-019 – Verizon Telecommunication Antenna

August 1, 2025

Project Address: 6545 Carnegie Ave

Presenter: Xavier Bay, City Planner

Project Representative: Kristen Swenson

Ward 5: Council Member Starr

SPA: Central

**CDCs: Midtown Cleveland &
Burten, Bell, Carr Dev. Corp.**

Conditional Use

Wireless Telecommunication Tower

6545 Carnegie Ave

August 01, 2025

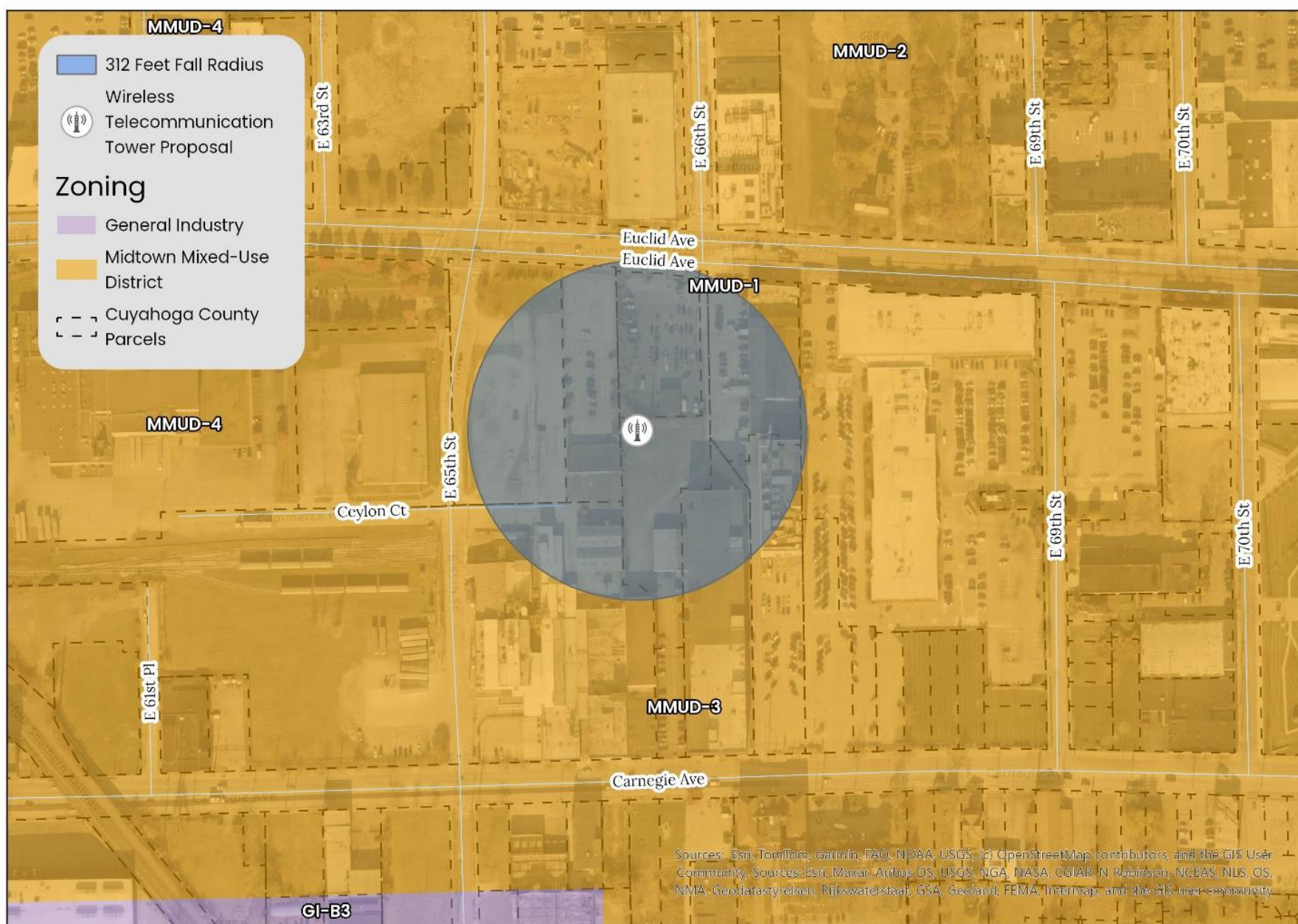
Proposal

Application to add an additional antenna to a 104 foot high existing non-conforming telecommunications tower, and adding accessory equipment on a lot located at 6545 Carnegie Ave.



Existing Zoning

Midtown Mixed Use-3

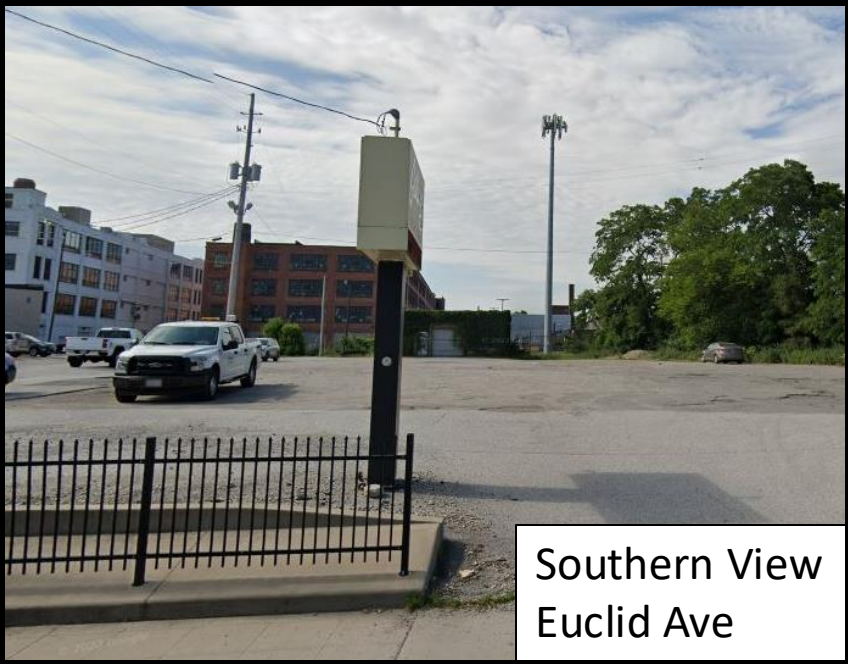
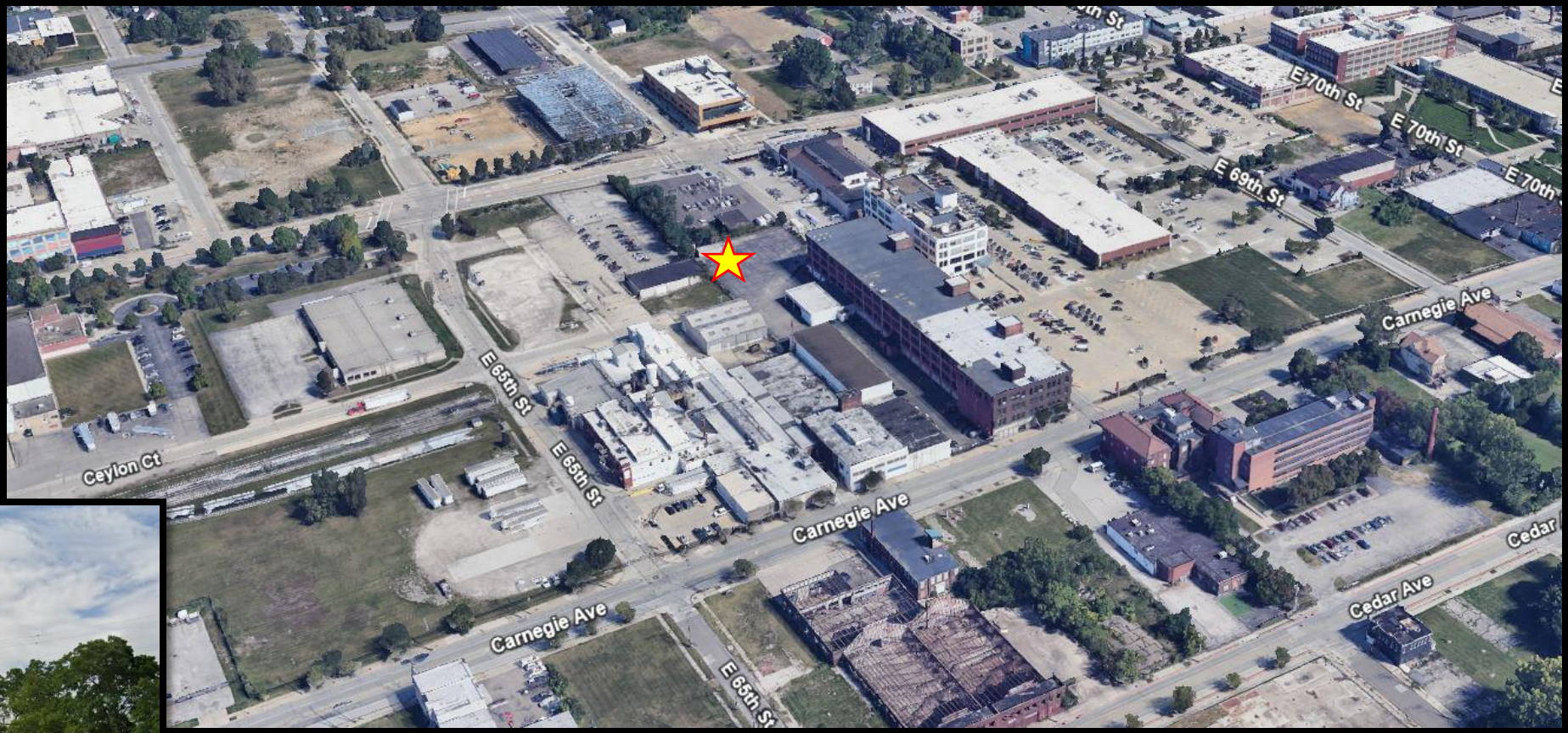


Wireless Telecommunication Tower
Public Notice
6545 Carnegie Ave

200
Feet

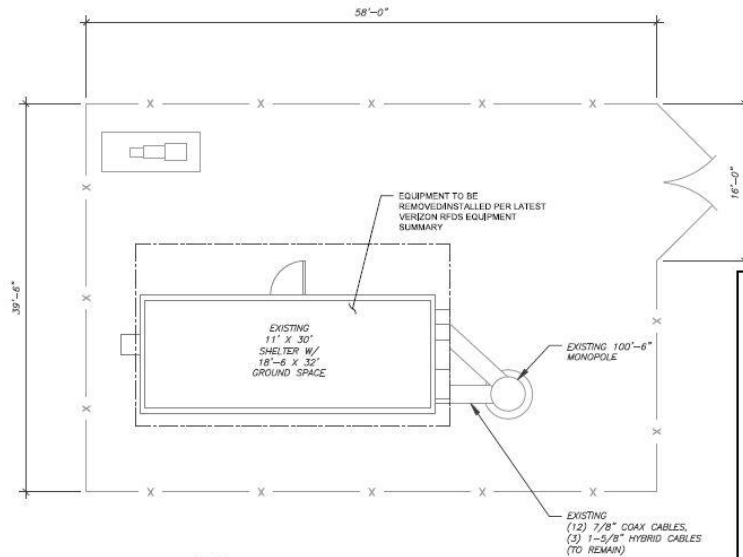


Site Location



SITE PLAN NOTES:

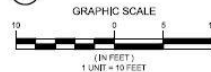
- THIS SITE PLAN REPRESENTS THE BEST PRESENT KNOWLEDGE AVAILABLE TO THE ENGINEER AT THE TIME OF THIS DESIGN. THE CONTRACTOR SHALL VISIT THE SITE PRIOR TO CONSTRUCTION AND VERIFY ALL EXISTING CONDITIONS RELATED TO THE SCOPE OF WORK FOR THIS PROJECT.
- ICE BRIDGE, CABLE LADDER, COAX PORT, AND COAX CABLE ARE SHOWN FOR REFERENCE ONLY. CONTRACTOR SHALL CONFIRM THE EXACT LOCATION OF ALL PROPOSED AND EXISTING EQUIPMENT AND STRUCTURES DEPICTED ON THIS PLAN BEFORE UTILIZING EXISTING CABLE SUPPORTS, COAX PORTS, INSTALLING NEW PORTS OR ANY OTHER EQUIPMENT. CONTRACTOR SHALL VERIFY ALL ASPECTS OF THE COMPONENTS MEET THE ATC SPECIFICATIONS.
- ALL CONDUITS SHALL BE INSTALLED UNDERGROUND AND PER APPLICABLE NEC AND LOCAL REQUIREMENTS UNLESS SHOWN OTHERWISE ON THESE PLANS. ANY CONDUITS INSTALLED ABOVE GRADE SHALL BE SECURED PER NEC 344 (MAX INTERVAL 10') AND THE ENTIRE CONDUIT SHALL BE PAINTED SAFETY REFLECTIVE YELLOW OR ORANGE TO INCREASE VISIBILITY AND REDUCE TRIP HAZARDS.
- NO ELECTRICAL SCOPE IS INCLUDED IN THIS PROJECT.



LEGEND

⊙	GROUNDING TEST WELL
ATS	AUTOMATIC TRANSFER SWITCH
B	BOLLARD
CSC	CELL SITE CABINET
D	DISCONNECT
E	ELECTRICAL
F	FIBER
GEN	GENERATOR
G	GENERATOR RECEPTACLE
HH, V	HAND HOLE, VAULT
IB	ICE BRIDGE
K	KENTROX BOX
LC	LIGHTING CONTROL
M	METER
PB	PULL BOX
PP	POWER POLE
T	TELCO
TRN	TRANSFORMER
—	CHAINLINK FENCE

1 DETAILED SITE PLAN



Proposal

CITY of CLEVELAND

MAYOR JUSTIN M. BIBB

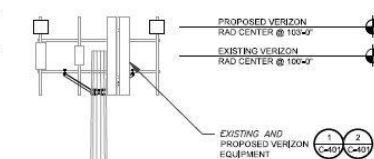
CITY PLANNING COMMISSION

104 Feet

FAA REGISTERED HEIGHT: 105' AGL

TOP OF HIGHEST APPARATUS
ELEV. 104'-0"

TOP OF EXISTING TOWER
ELEV. 100'-6"



PER MOUNT ANALYSIS COMPLETED BY PAUL A. FORD AND COMPANY, DATED 01/20/25, THE EXISTING MOUNT MUST BE MODIFIED TO ADEQUATELY SUPPORT THE PROPOSED LOADING. THE MOUNT MODIFICATION PROPOSED IN THE MOUNT ANALYSIS, INCLUDED AT THE END OF THIS PLAN SET, IS REQUIRED PRIOR TO THE INSTALLATION OF THE PROPOSED ANTENNAS AND OTHER EQUIPMENT.

EXISTING 100'-6" MONOPOLE

EXISTING
(12) 7/8" COAX CABLES,
(3) 1-5/8" HYBRID CABLES
(TO REMAIN)

EXISTING GRADE
ELEV. 0'

1 TOWER ELEVATION SCALE: N.T.S.

ALL ELEVATIONS REFLECT ABOVE GROUND LEVEL (A.G.L.)

TOWER NOTE:

- IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONFIRM WITH THE PROJECT MANAGER THAT THEY HAVE THE MOST RECENT VERSION OF THE STRUCTURAL ANALYSIS BEFORE COMMENCING WORK. EXISTING AND PROPOSED TOWER APPURTENANCES, MOUNTS, AND ANTENNAS ARE SHOWN BASED ON THE STRUCTURAL ANALYSIS, WHERE APPLICABLE. ALL NEW ANTENNAS, EQUIPMENT, MOUNTS, CABLING, ETC., SHALL BE PAINTED/COLORED TO MATCH EXISTING EQUIPMENT IN ACCORDANCE WITH FAA JURISDICTION, AND/OR OTHER LOCAL REQUIREMENTS.
- TOWER ELEVATION DEPICTION MAY NOT REFLECT ALL EQUIPMENT INCLUDED IN STRUCTURAL ANALYSIS. REFER TO STRUCTURAL ANALYSIS FOR FULL TOWER LOADING.

Proposal

CITY of CLEVELAND

MAYOR JUSTIN M. BIBB

CITY PLANNING COMMISSION



VERIZON MOUNT




VERIZON MOUNT



Conditions

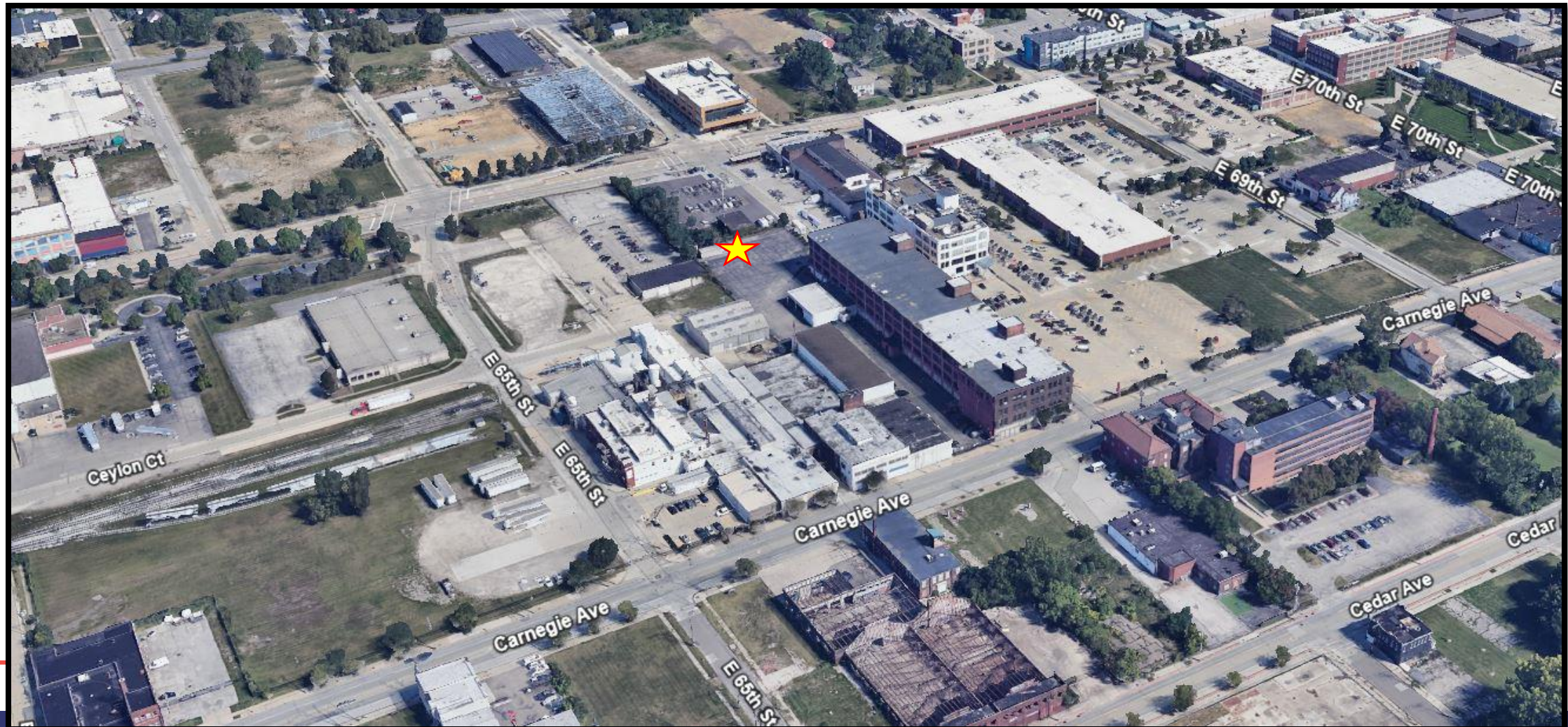
	Cleveland Zoning Code	Zoning Code Provisions	6545 Carnegie Ave Proposal
Location	§354.06 (a)	A telecommunications tower shall be located in only the following zoning districts: General Retail, Shopping Center, Semi-Industry, General Industry and Unrestricted Industry. No telecommunications tower subject to the regulations of this chapter shall be located in a Landmark District or a public park.	Located in MMUD-3
Setback from Residential or Landmarks District	§354.06 (b)	No portion of a telecommunication tower subject to the regulations of this chapter shall be located closer to a Residential District line or Landmark District line than a distance equal to three (3) times the height of the tower.	Property not adjacent to Residence Districts or Landmarks Districts
Height	§354.08 (b)	A telecommunications antenna or antenna structure may exceed the height limit established on the zoning map for buildings on the subject property, but such antenna or antenna structure shall not exceed the height limit by more than twenty (20) feet.	Proposed tower does not meet all the requirements of CH 354. Height exceeds the 60 foot maximum height district.

Conditions

	Cleveland Zoning Code	Zoning Code Provisions	6545 Carnegie Ave Proposal
Aesthetic Design	§354.07 (c)	Aesthetic Design. Telecommunications towers shall be designed in a manner that makes them as unobtrusive as possible, while meeting safety requirements. To this end, tower design shall be monopole rather than lattice, wherever feasible. With respect to color, towers, if painted, shall be light gray or off-white in order to blend in with the sky and clouds, unless other colors are required by federal regulations or the provisions of Chapter 633 of these Codified Ordinances or unless another color is approved by the City Planning Commission as being more effective in a particular instance. The City Planning Commission shall work with applicants to identify any other design techniques that can be used in reducing the visual prominence of telecommunication towers.	
Signs	§354.07 (d)	No signs shall be located on or around a telecommunications tower except for necessary warning signs located at or near ground level.	No signage proposed
Security Fence	§354.09 (a)	The base of any ground-mounted telecommunications tower shall be completely enclosed by a fence or wall not less than six (6) feet and not more than eight (8) feet in height. Such fence or wall shall be setback at least 10 feet from all property lines. Any fence or wall located within twenty-five (25) feet of a street right of way shall be either wrought-iron style or black vinyl coated chain link fence or decorative masonry wall.	Existing fence to stay
Landscaping	§354.09 (b)&(c)	Landscape strip shall be a minimum of ten (10) feet in width and shall be placed along the outside of the entire perimeter of the security fence. The City Planning Commission may vary the landscape requirements in order to address particular site conditions.	None proposed

Conditions

Does the addition of the existing 104 foot tower and replacement of accessory equipment meet all applicable standards in §354 and is the design appropriate and compatible with surrounding uses?



Cleveland City Planning Commission

Near West Design Review



CITY OF CLEVELAND
Mayor Justin M. Bibb

August 1, 2025

NW2025-013 – Henritze & Pearl Pocket Park

August 1, 2025

Project Address: Corner of Henritze Ave & Pearl Rd

Type: New Construction – Park

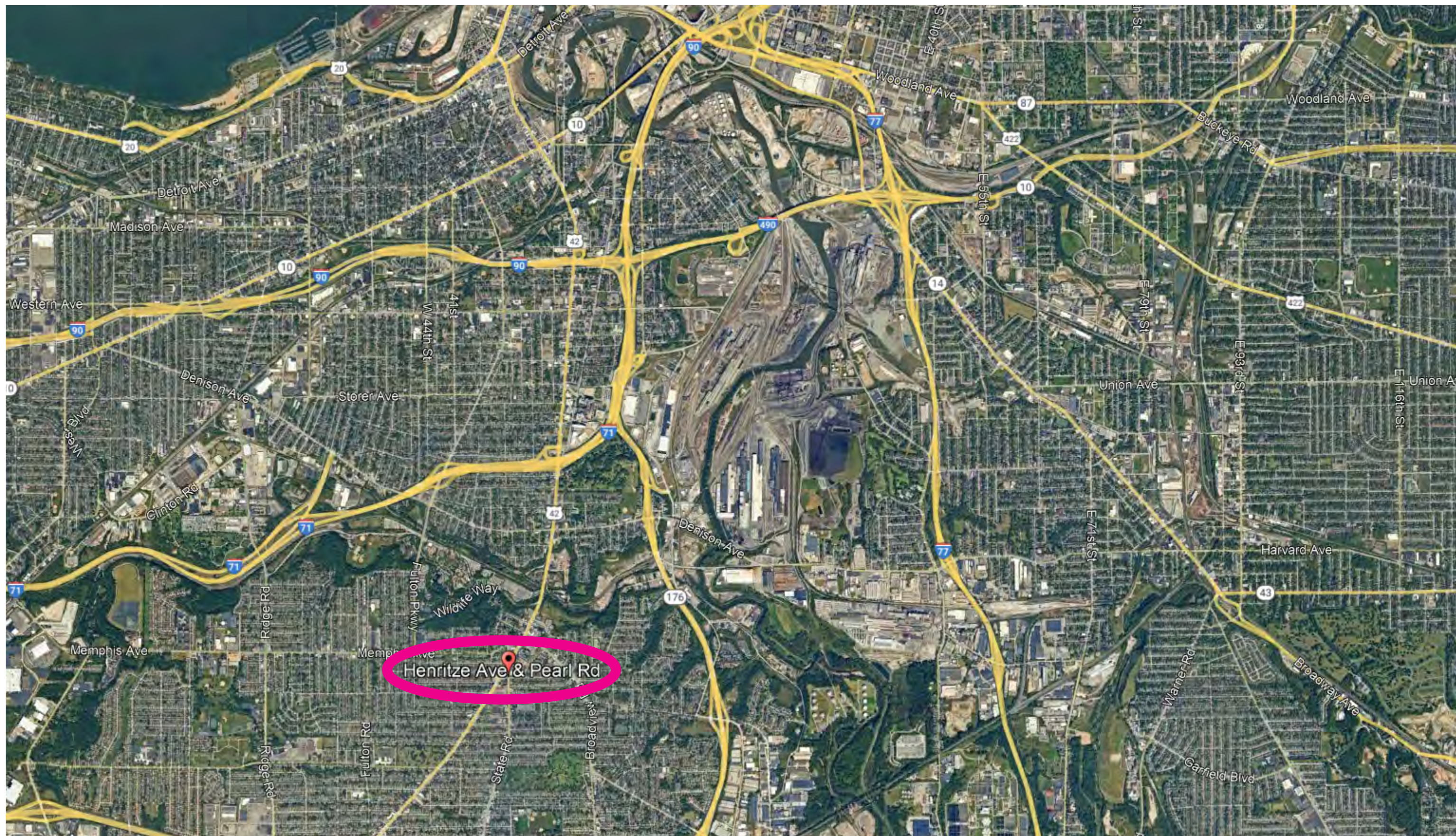
Project Representative: Connor Brentar, OBCDC

Approval: Final

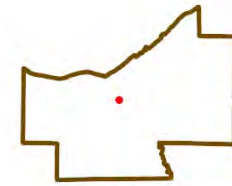
Ward 13: Council Member Harsh

SPA: Old Brooklyn

CDC: Old Brooklyn CDC







Date Created: 6/17/2025

Legend

- Municipalities
- Right Of Way
- Platted Centerline
- Parcel



35 0 18 35 Feet

Projection:
WGS_1984_Web_Mercator_Auxiliary_Sphere

This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.
THIS MAP IS NOT TO BE USED FOR NAVIGATION

1:211



Cuyahoga County
Enterprise GIS
PUTTING CUYAHOGA COUNTY ON THE MAP

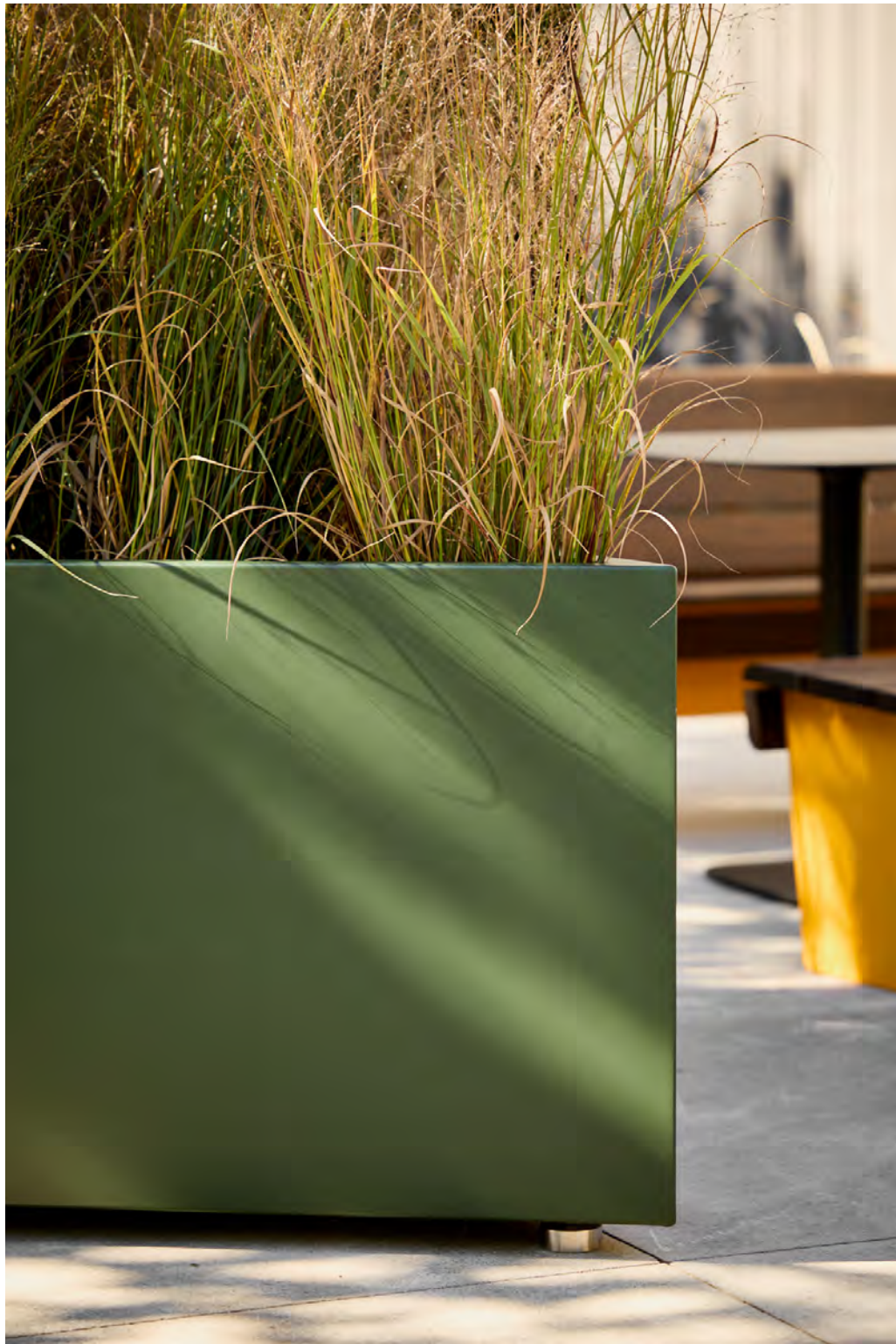












Parallel 42 Planter_Landscape Forms



Obsidian



Unilock Eco-Promenade Pavers



Existing Bistro Tables and Chairs



Dero Bike Hitch





Artisan Spirea



Grey Owl Juniper



Switchgrass



Lenten Rose



Rozanne Geranium



Princeton Elm



Cleveland City Planning Commission

Staff Report



CITY OF CLEVELAND
Mayor Justin M. Bibb

August 1, 2025

NW2025-013 – Henritze & Pearl Pocket Park

August 1, 2025

NWDRAC recommended final approval (with no conditions) on 7/23/25.

Cleveland City Planning Commission

Central Southeast Design Review



CITY OF CLEVELAND
Mayor Justin M. Bibb

August 1, 2025

Central Southeast Design Review

CSE2025-026 – 6806 Harvard, Car Sales Lot w/ Office

August 1, 2025

Project Address: 6806 Harvard Ave

Type: New Construction – Commercial

Project Representative: Kurt Weaver, AKW, Inc.

Approval: Final

Ward 12: Council Member Maurer | **SPA: Broadway-Slavic Village** | **CDC: Slavic Village Development**

23 JUNE 2025

Memorandum 2037.003R

AKW, Inc. Proj. No. 2037a

ARCHITECTURE
PLANNING
DESIGN
RESTORATION
PRESERVATION



PROJECT: **6806 Harvard Avenue**
BZA

B21007055

RE: **DESIGN PRESENTATION** **REVISED**
Parcel No. 132 – 25 – 192

COVER PAGE & INTRODUCTION

EXISTING CONDITIONS PHOTOGRAPHS

SANDBORNE MAP

DEVELOPMENT SITE PLANS

SITE ELEVATION

SITE PLAN

SITE DETAILS

BUILDING PLAN

BUILDING ELEVATION

BUILDING DETAILS

Submitted by,

Kurt C. Weaver, AIA
Project Architect, AKW, Inc.

cc file
T. Sullivan

COMMITTEE NOTES: (Tuesday June 10, 2025)

1. ADD additional TREES (3) additional sides (north, east & west)
2. Plantings along Harvard to be EVERGREEN
3. ALL added trees to be HONEY LOCUST
4. ADD (2) additional trees along south side where previously existing concrete pad is no longer present.
5. Requested that owner ROTATE INVENTORY
6. Site Lighting calculations.
7. Details of Ornamental and Board on Board Fencing.
8. "Vistor Parking" text added to visitor parking spaces.
9. Remove entry curb encroachment on west set back line.
10. Building Exterior Finishes.

Items 1, 2, 3, 4, 8, and 9, are addressed on revised site plan drawing SD.33.

Items 7 and 8 are represented in the revised presentation.

AKW, INC.

2008 VALENTINE AVENUE CLEVELAND, OHIO 44109-1933 216.749.6223 FAX 216.749.1863

27 MAY 2025

Memorandum 2037.002R

AKW, Inc. Proj. No. 2037a

ARCHITECTURE
PLANNING
DESIGN
RESTORATION
PRESERVATION



PROJECT: 6806 Harvard Avenue B21007055
BZA

RE: Existing Conditions Photographs (December 2020)
Parcel No. 132 – 25 – 192

Site & Surrounding Context
next 7 images
___ pages



6806 Harvard Avenue

looking SOUTH

west side of site

AKW, INC.

2008 VALENTINE AVENUE CLEVELAND, OHIO 44109-1933 216.749.6223 FAX 216.749.1863



looking SOUTH EAST

adjacent residence

27 MAY 2025

page 3

AKW Memorandum 2037.002R



6806 Harvard Avenue
looking SOUTH
east side of site

AKW, INC.

2008 VALENTINE AVENUE CLEVELAND, OHIO 44109-1933 216.749.6223 FAX 216.749.1863



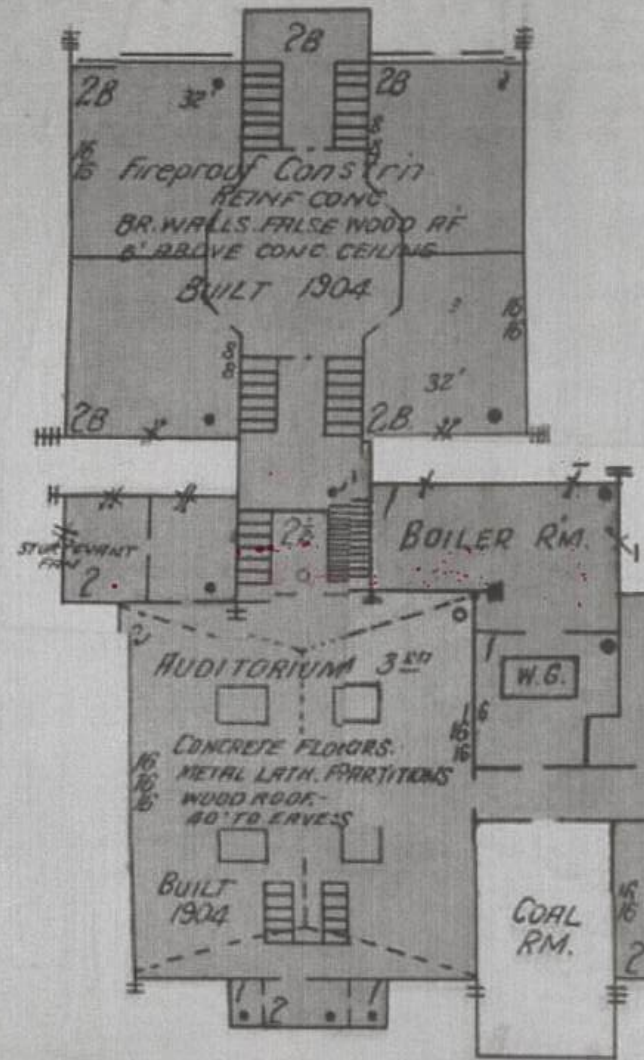
looking WEST; EAST elevation of former dairy structure



looking EAST; WEST elevation of former dairy structure

6900

HEAT: STEAM; JOHNSTON SYSTEM WITH STD. THERM
FRN. LIGHTS: ELEC. FUEL: COAL -



POL

● *D.H.*

ORNAMENTAL SITE FENCE, SEE
SITE PLAN DRAWING SD.33, TYP.

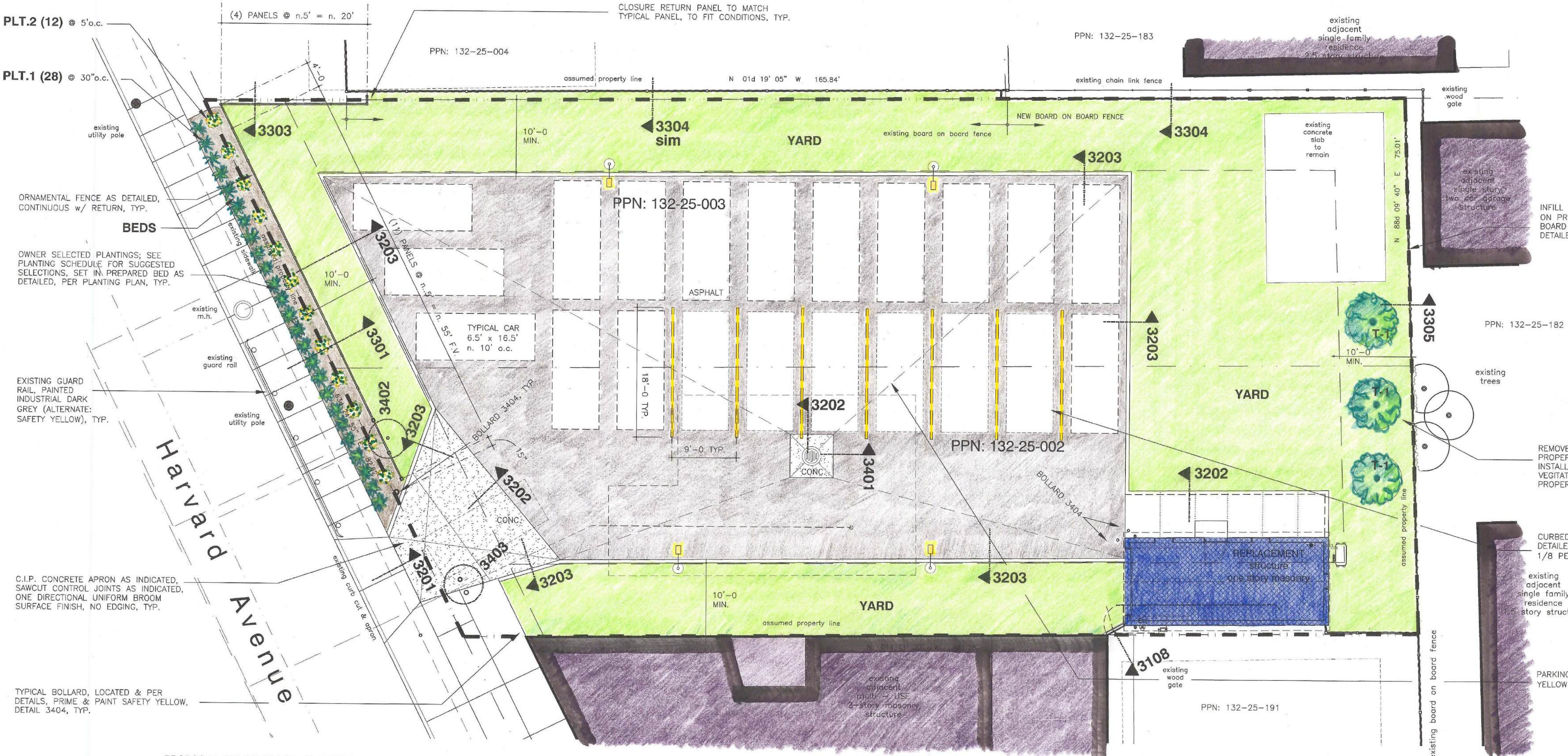


SUBJECT PROPERTY 6806 HARVARD AVENUE

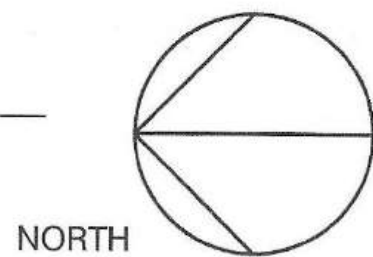
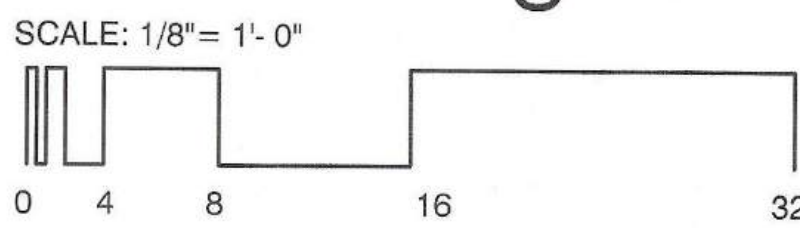
REPLACEMENT STRUCTURE

33E Harvard Avenue Elevation looking SOUTH

SCALE: 1/16" = 1'-0"



33A Site Plantings & Finishes Plan

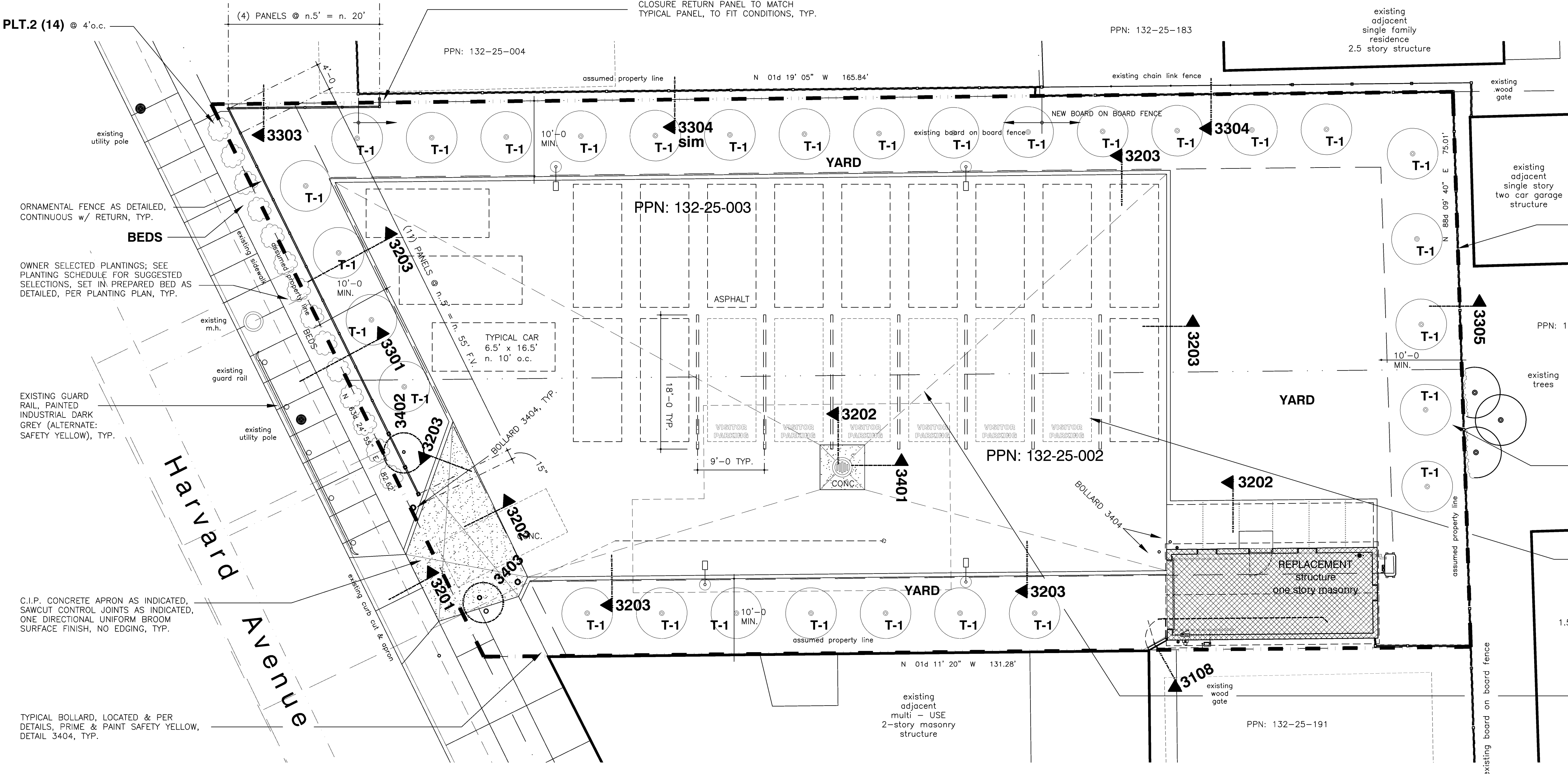


NEW ORNAMENTAL FENCE, MAX. 5' PANELS, STEEL, PAINTED, TOP & BOTTOM CHANNEL (1"x1.5" MIN.) w/ SAME INTERMEDIATE CHANNEL, MIN. 2.5" SQ. POSTS w/ DECORATIVE CAP, CAST IRON ONLY, 5/8" DIA. STEEL PICKETS AT 4.5" o.c., CONNECTION ANGLES FACTORY WELDED TO PANELS w/ FIELD BOLTED CONNECTIONS, POST FOUNDATION w/ min 8"x8" BASE PLATE WELDED TO POST SET ON COMPACTED POROUS FILL, BACKFILLED w/ LIGHTWEIGHT CONC., GALV. or POWDER COAT FINISH RECOMMENDED, TYP.

33B Planting Schedule

SYMBOL	MARK	PLANT	NAME	DES
PLT.1	small bush	HOSTA or SAGE or XXXX		
PLT.2	medium bush	PRIVET or SEAGRASS		

PLT.2 (14) @ 4' o.c.



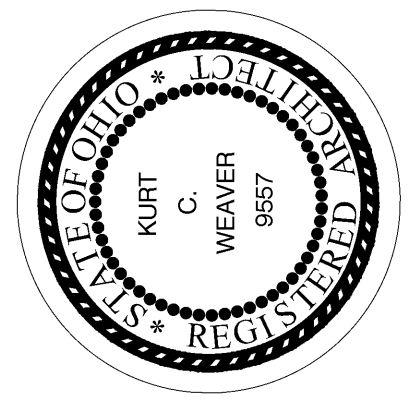
General Notes:

- CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS AND ALL OTHER EXISTING CONDITIONS PRIOR TO THE COMMENCEMENT OF THE WORK.
- ALL GENERAL NOTES ARE APPLICABLE TO ALL TRADES AND RESPECTIVE CONTRACTORS.
- CONTRACTOR TO NOTIFY THE ARCHITECT IN WRITING IN THE EVENT OF A DISCREPANCY BETWEEN THE DRAWINGS AND THE FIELD CONDITIONS.
- ALL DAMAGE TO EXISTING AND/OR NEW WORK IN PLACE BY CONTRACTOR'S OR CONTRACTOR'S SUB-CONTRACTOR'S NEGLIGENCE SHALL BE REPAIRED AT NO ADDITIONAL COST TO THE OWNER.
- ALL CUTTING & PATCHING AS NECESSARY TO ACCOMPLISH THE WORK IS TO BE INCLUDED, TYPICAL PATCH ALL MATERIALS TO MATCH EXISTING.
- ALL ITEMS INDICATED BUT NOT IDENTIFIED ARE EXISTING TO REMAIN. MAINTAIN, CLEAN, PROTECT, TYPICAL.

INFILL BALANCE OF PERIMETER FENCING ON PROPERTY LINE w/ BOARD ON BOARD FENCING TO MATCH EXISTING AS DETAILED, TYP.

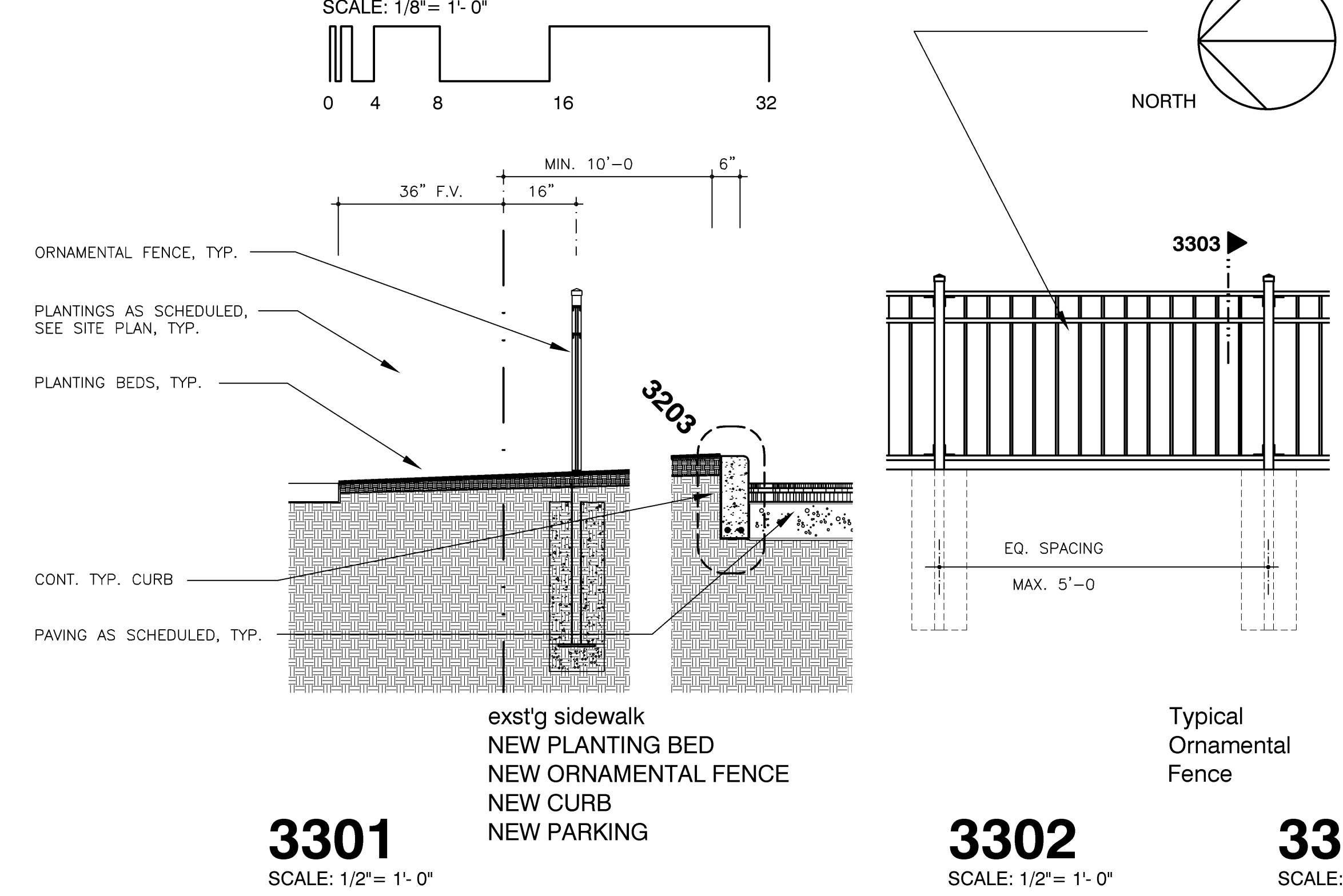
Existing Conditions Notes:

- ALL CONDITIONS REPRESENTED AS OBSERVED IN THE FIELD BY AKW. MEASUREMENTS FROM STRATEGIC LOCATIONS THROUGH OUT, AND AS INTERPOLATED FROM AKW PHOTOGRAPHS OF THE EXISTING CONDITIONS, INCLUDING INFORMATION FROM COUNTY OVERLAY MAPS, AUGUST 2020.
- ILLUSTRATED GRAPHICS REFLECT OBSERVED CONDITIONS AND ARE REPRESENTATIVE ONLY. AKW IS NOT RESPONSIBLE FOR ACTUAL FIELD CONDITIONS OF MATERIALS DEPICTED. FIELD CONDITIONS VARY BY LOCATION.
- DIMENSIONAL RELATIONSHIPS ARE ACURATE WITHIN NORMAL NOMINAL DIMENSIONAL TOLERANCES. SOME VARIATION IN ACTUAL CONDITION MAY OCCUR. EVERY EFFORT HAS BEEN MADE TO REFLECT THE EXISTING CONDITIONS ACURATELY.

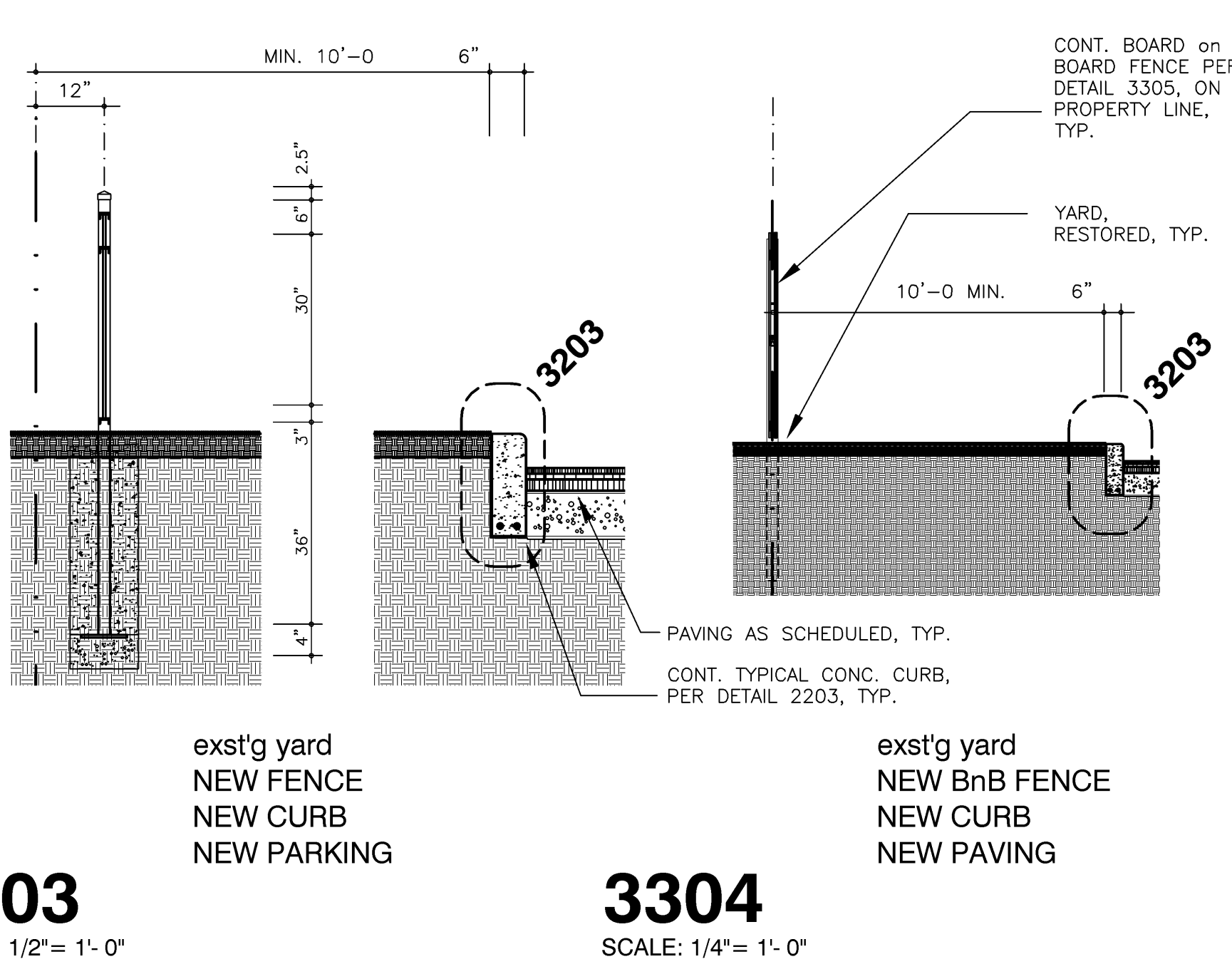


AKW, INC.
2008 Valentine Avenue
Cleveland, Ohio 44109-1933
216.749.6223 fax 216.749.1863

33A Site Plantings & Finishes Plan

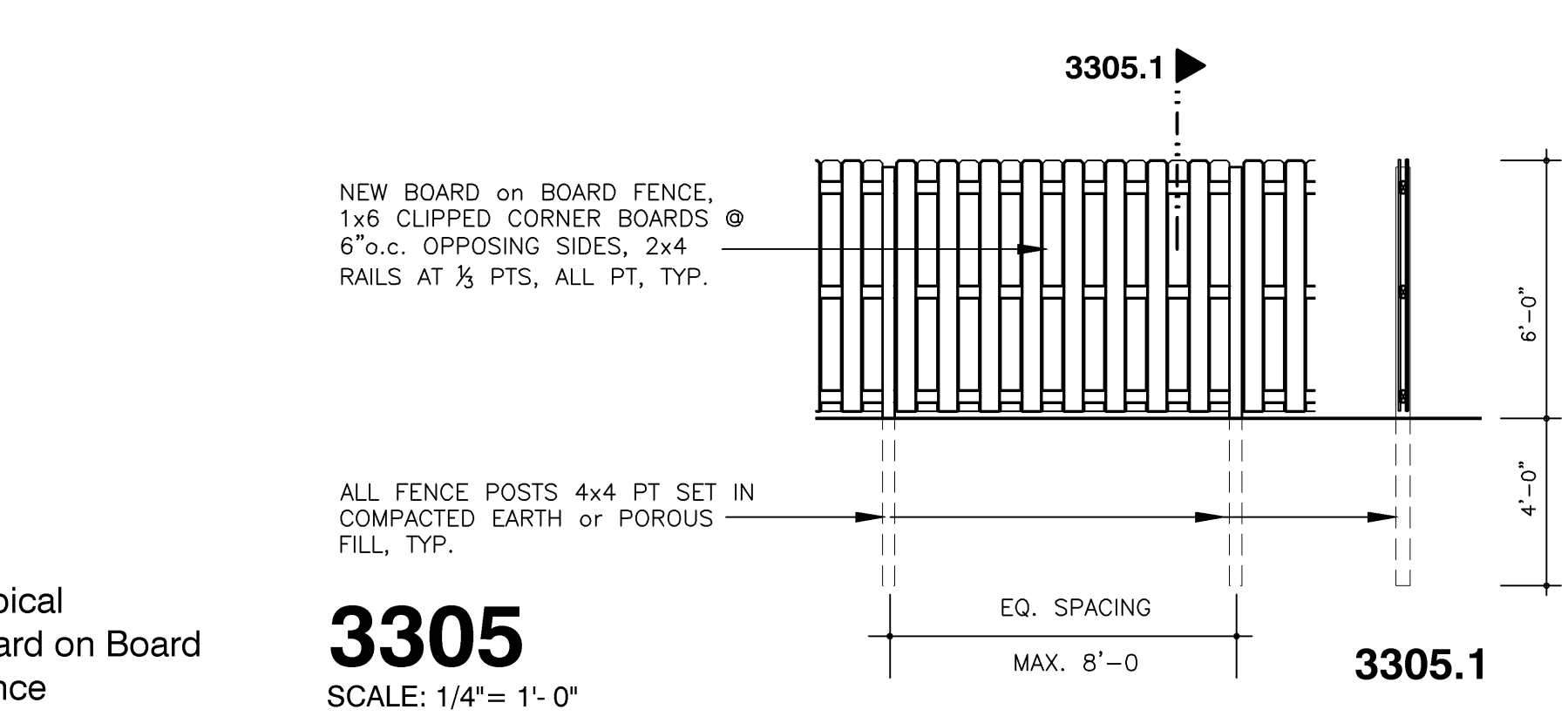


NEW ORNAMENTAL FENCE, MAX. 5' PANELS, STEEL, PAINTED, TOP & BOTTOM CHANNEL (1"x1.5" MIN.) w/ SAME INTERMEDIATE CHANNEL, MIN. 2.5" SQ. POSTS w/ DECORATIVE CAP, CAST IRON ONLY, 5/8" DIA. STEEL PICKETS AT 4.5' o.c., CONNECTION ANGLES FACTORY WELDED TO PANELS w/ FIELD BOLTED CONNECTIONS, POST FOUNDATION w/ min 8"x8" BASE PLATE WELDED TO POST SET ON COMPACTED POROUS FILL, BACKFILLED w/ LIGHTWEIGHT CONC., GALV. or POWDER COAT FINISH RECOMMENDED, TYP.



33B Planting Schedule:

SYMBOL	MARK	PLANT	NAME	DESCRIPTION	MISC./REMARKS
PLT.1	small bush	HOSTA or SAGE or XXXX	--	--	18 - 24" o.c.
PLT.2	medium bush	EVERGREEN SHRUB	MAINTAIN MAX. 36" HEIGHT	--	18 - 36" o.c.
PLT.3	large bush	HYDRANGA or LILAC or FORSYTHIA	--	--	24 - 48" o.c.
YARD	seeded yard over min. 4" topsoil	rye blend	--	--	straw cover to start water 3X daily for 30 days
BEDS	top soil, min. 4" finished w/ MULCH	sandy loam	--	--	natural mulch, no dyes
T-1	medium sized ornamental tree	HONEY LOCUST	4" dia.	--	mounded mulch bed cover water 2X daily for 60 days



6806 Harvard Avenue

Cleveland, Ohio
Prepared for: TMS Enterprises, LTD.
31637 Newbury Drive, Avon Lake, Ohio 44012

Car Sales Lot with Office
CONSTRUCTION DOCUMENTS
Site Plantings
& Finishes Plan

SD.33

General Notes:

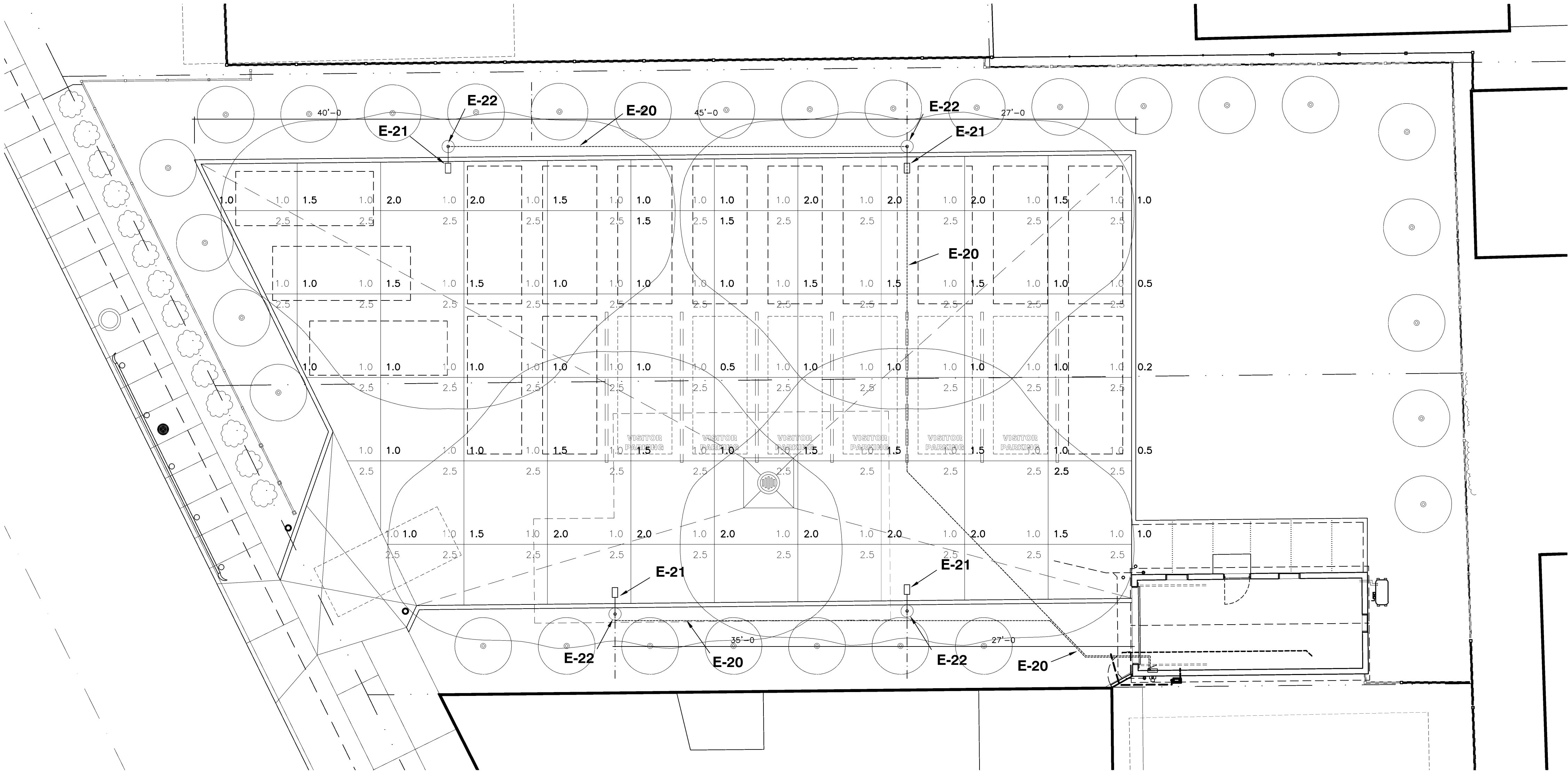
- 1. CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS AND ALL OTHER EXISTING CONDITIONS PRIOR TO THE COMMENCEMENT OF THE WORK.
- 2. ALL GENERAL NOTES ARE APPLICABLE TO ALL TRADES AND RESPECTIVE CONTRACTORS.
- 3. CONTRACTOR TO NOTIFY THE ARCHITECT IN WRITING IN THE EVENT OF A DISCREPANCY BETWEEN THE DRAWINGS AND THE FIELD CONDITIONS.
- 4. ALL DAMAGE TO EXISTING AND/OR NEW WORK IN PLACE BY CONTRACTOR'S OR CONTRACTOR'S SUB-CONTRACTOR'S NEGLIGENCE SHALL BE REPAIRED AT NO ADDITIONAL COST TO THE OWNER.
- 5. ALL CUTTING & PATCHING AS NECESSARY TO ACCOMPLISH THE WORK IS TO BE INCLUDED, TYPICAL. PATCH ALL MATERIALS TO MATCH EXISTING.
- 6. ALL ITEMS INDICATED BUT NOT IDENTIFIED ARE EXISTING TO REMAIN. MAINTAIN, CLEAN, PROTECT, TYPICAL.

Existing Conditions Notes:

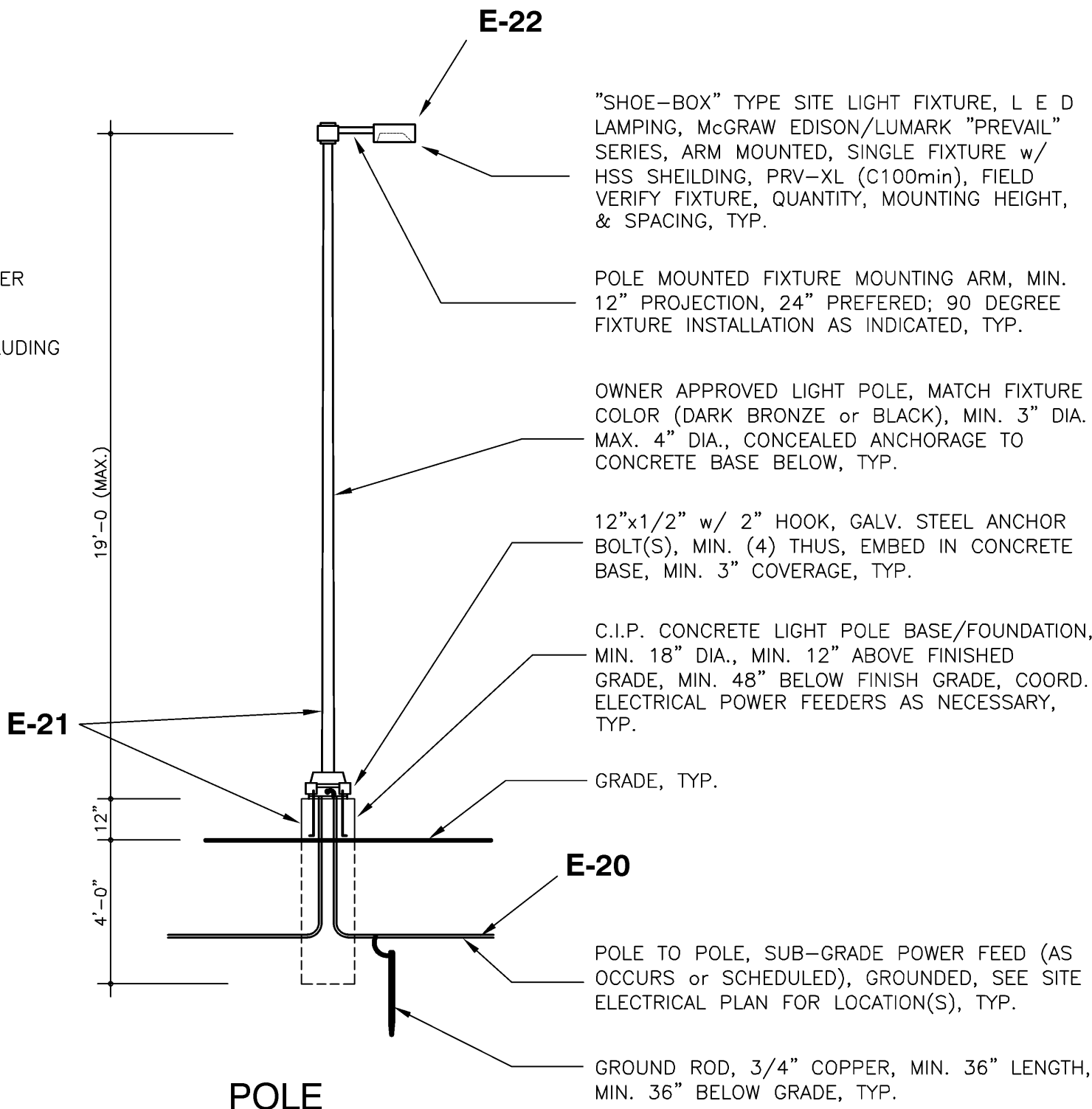
- 1. ALL CONDITIONS REPRESENTED AS OBSERVED IN THE FIELD BY AKW. MEASUREMENTS FROM STRATEGIC LOCATIONS THROUGH OUT, AND AS INTERPOLATED FROM AKW PHOTOGRAPHS OF THE EXISTING CONDITIONS, INCLUDING INFORMATION FROM COUNTY OVERLAY MAPS, AUGUST 2020.
- 2. ILLUSTRATED GRAPHICS REFLECT OBSERVED CONDITIONS AND ARE REPRESENTATIVE ONLY. AKW IS NOT RESPONSIBLE FOR ACTUAL FIELD CONDITIONS OF MATERIALS DEPICTED. FIELD CONDITIONS VARY BY LOCATION.
- 3. DIMENSIONAL RELATIONSHIPS ARE ACURATE WITHIN NORMAL NOMINAL DIMENSIONAL TOLERANCES. SOME VARIATION IN ACTUAL CONDITION MAY OCCUR. EVERY EFFORT HAS BEEN MADE TO REFLECT THE EXISTING CONDITIONS ACURATELY.

Power/Communication Plan Notes:

- SEE DRAWING E.30 FOR POWER/COMMUNICATION PLAN NOTES; Nos E-1 to E-8, E-13, E.13a, E-14 to E-16, TYP.
- E-20** PROVIDE SUB-GRADE CONDUIT(S) AS NECESSARY TO ROUTE SUB-GRADE SITE LIGHTING (& POWER) AS SCHEDULED & DETAILED, TYP.
- E-21** PROVIDE POLE MOUNTED SITE LIGHTING AS SCHEDULED & DETAILED, COMPLETE, INCLUDING BUT NOT LIMITED TO FIXTURE, MOUNTING, DAYLIGHT & MOTION SENSOR CONTROL, CONDUIT, & RELATED COMPONENTS COMPLETE, TYP.
- E-22** PROVIDE SITE LIGHTING POLE AS DETAILED & SCHEDULED, COMPLETE, COORD. LOCATIONS w/ OWNER & SITE IMPROVEMENTS, COORD. POWER CONDUIT ROUTE & RELATED ITEMS INCLUDING POLE MOUNTED SERVICES, TYP.



NOTE:
LIGHTING INDICATED PER
16' POLE HEIGHT,
E.C. TO SUBMIT POLE
& FIXTURE DATA INCLUDING
PHOTOMETRICS, TYP.



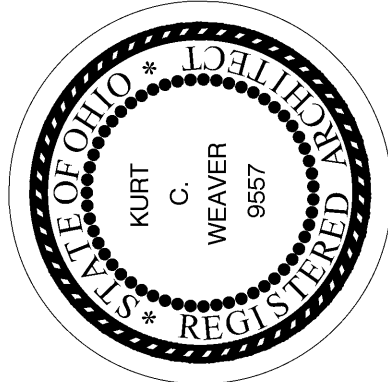
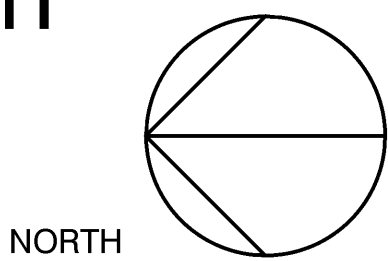
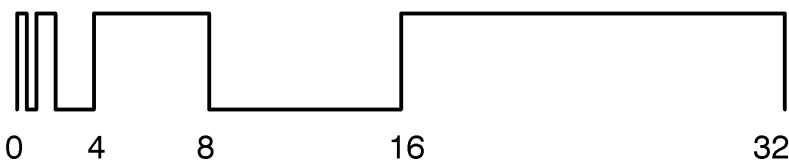
POLE
MOUNTED
LIGHTING
SCALE: 1/4"= 1'- 0"

501

5A Site ELECTRICAL Plan

PROPOSED CAR SALES LOT with OFFICE

SCALE: 1/8"= 1'- 0"



AKW, INC.
2008 Valentine Avenue
Cleveland, Ohio 44109-1933
216.749.6223 fax 216.749.1863

6806 Harvard Avenue

Cleveland, Ohio
Prepared for: TMS Enterprises, LTD.
31637 Newbury Drive, Avon Lake, Ohio 44012

AKW, Inc. **2037**
Proj. No. **AKW, Inc. 2025**

SCALE: As Noted
DATE: 27 MAY 2025
Revised: 30 JUNE 2025

Car Sales Lot with Office
CONSTRUCTION DOCUMENTS
Site Electrical Plan

SD.35

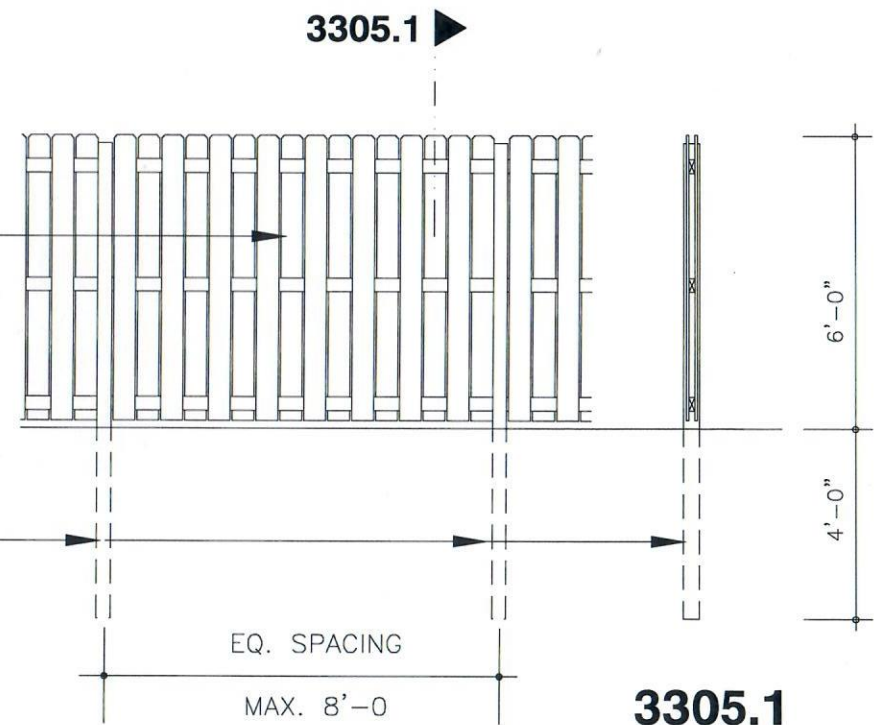
Typical
Board on Board
Fence

3305

SCALE: 1/4" = 1'-0"

NEW BOARD on BOARD FENCE,
1x6 CLIPPED CORNER BOARDS @
6" o.c. OPPOSING SIDES, 2x4
RAILS AT 1/3 PTS, ALL PT, TYP.

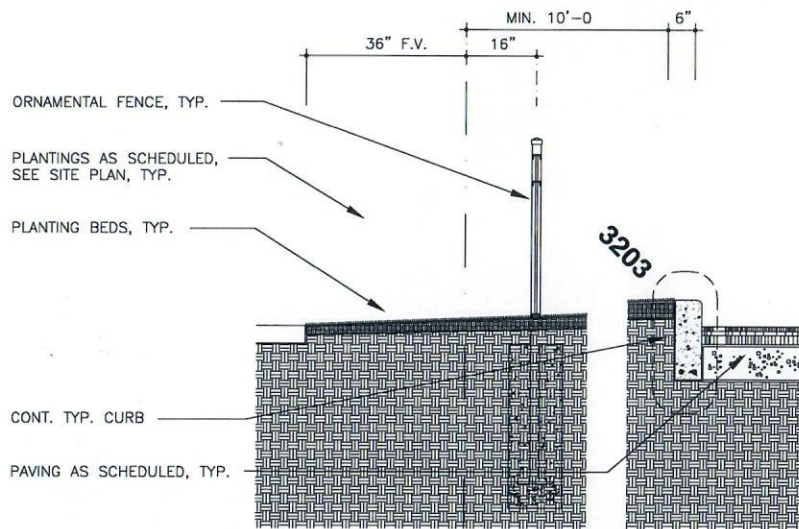
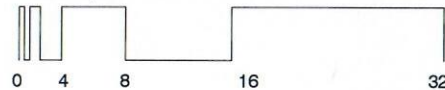
ALL FENCE POSTS 4x4 PT SET IN
COMPACTED EARTH or POROUS
FILL, TYP.



PROPOSED CAR SALES LOT with OFFICE

33A Site Plantings & Finishes Plan

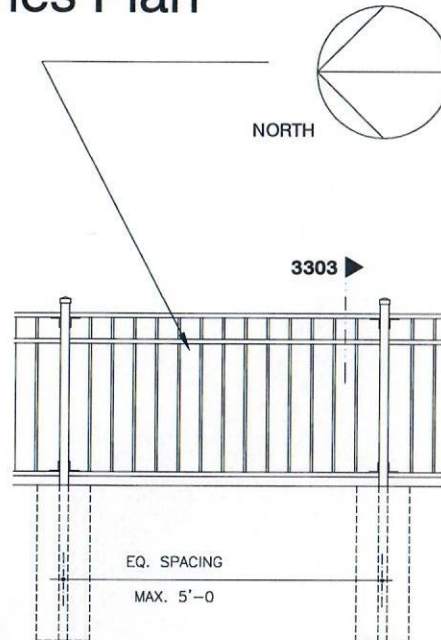
SCALE: 1/8" = 1'-0"



exst'g sidewalk
NEW PLANTING BED
NEW ORNAMENTAL FENCE
NEW CURB
NEW PARKING

3301

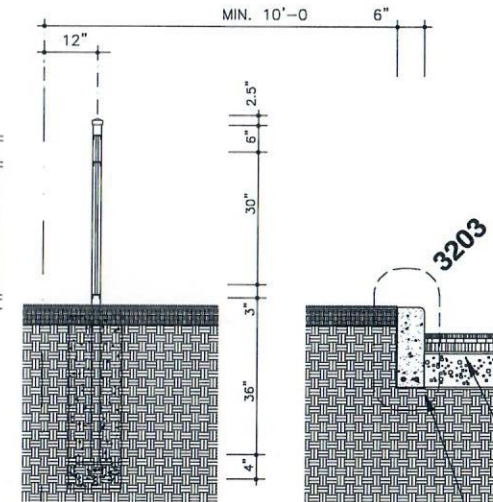
SCALE: 1/2" = 1'-0"



Typical
Ornamental
Fence

3302

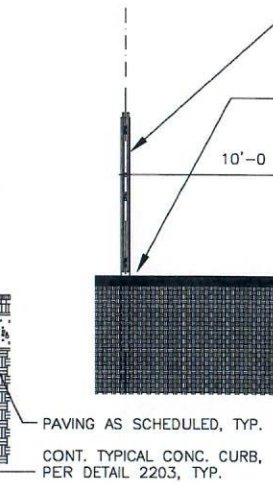
SCALE: 1/2" = 1'-0"



exst'g yard
NEW FENCE
NEW CURB
NEW PARKING

3303

SCALE: 1/2" = 1'-0"

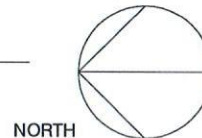


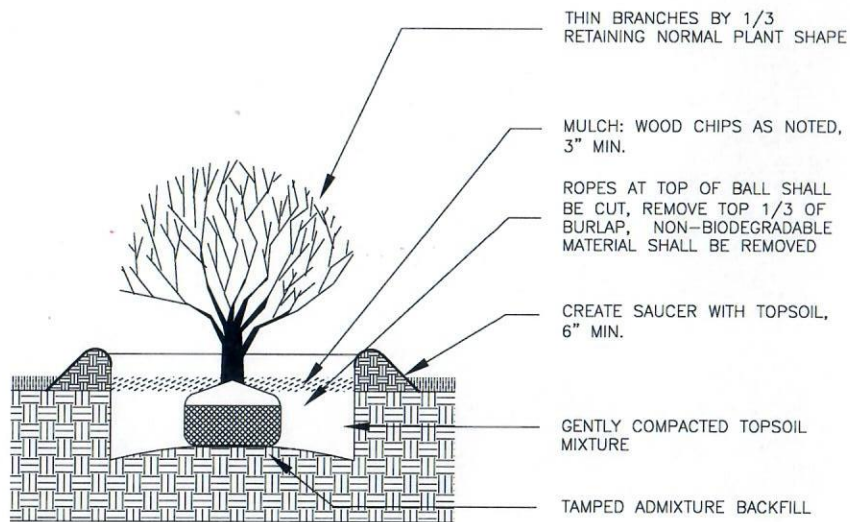
exst'g y
NEW B
NEW C
NEW P

3304

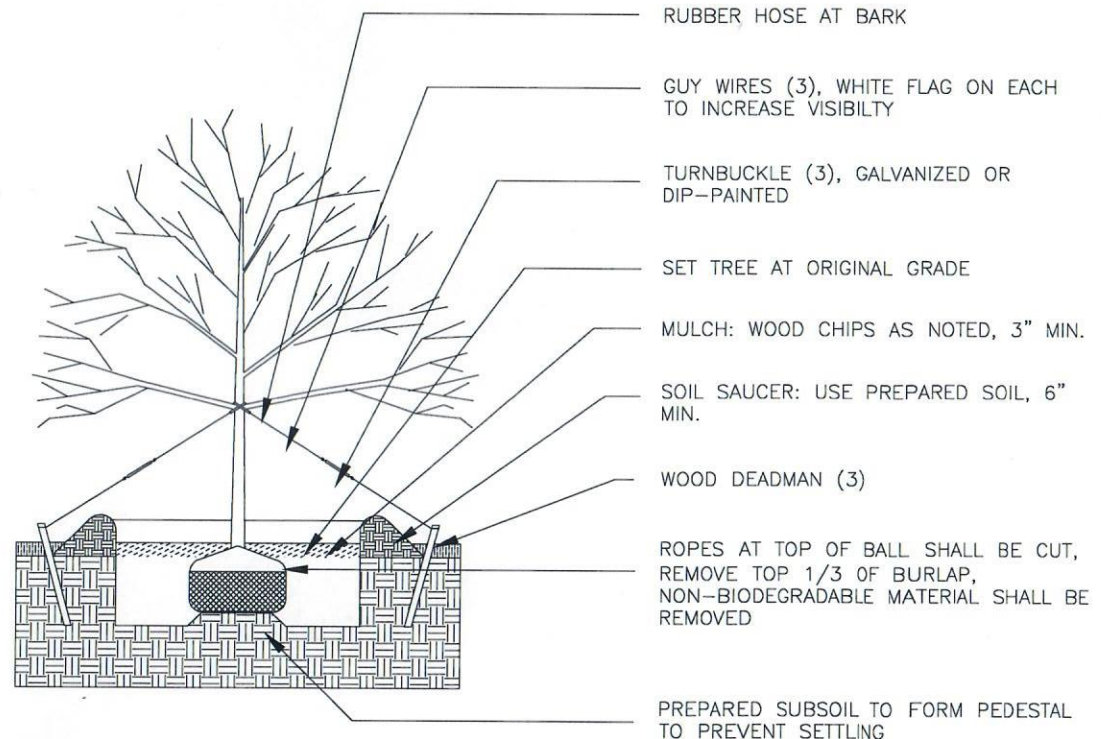
SCALE: 1/4" = 1'-0"

NEW ORNAMENTAL FENCE, MAX. 5' PANELS, STEEL, PAINTED, TOP & BOTTOM CHANNEL (1"x1.5"MIN.) w/ SAME INTERMEDIATE CHANNEL, MIN. 2.5" SQ. POSTS w/ DECORATIVE CAP, CAST IRON ONLY, 5/8" DIA. STEEL PICKETS AT 4.5'o.c., CONNECTION ANGLES FACTORY WELDED TO PANELS w/ FIELD BOLTED CONNECTIONS, POST FOUNDATION w/ min 8"x8" BASE PLATE WELDED TO POST SET ON COMPACTED POROUS FILL, BACKFILLED w/ LIGHTWEIGHT CONC., GALV. or POWDER COAT FINISH RECOMMENDED, TYP.





3204 Bush Planting Detail
NO SCALE



3205 Tree Planting Detail
NO SCALE

BOLLARD NOTE, COORD. LOCATION
w/ SUBGRADE, SEE UTILITIES PLAN
SD.34 & DRAWING M.30; BOLLARD
DETAIL ON SD.34 PER DETAIL
3404, TYP.

INFILL GABLE END FRAMING, SEE
BUILDING SECTION, TYP.

OWNER SELECTED SILL DETAIL; STONE or
HARDWOOD RECOMMENDED, COORD. w/
WINDOW INSTALLATION & FINISH TRIM,
TYP.

EA, MM, NEW,
SEE E.30, TYP.

PANEL A, NEW,
SEE DRWG. E.30

GAS MTR, NEW
SEE DRWG. M.30

HVAC, SEE DRWG. M.30
COORD. ELEC.
SEE DRWG. E.30

EXHAUST FAN, SEE
DRWG. M.30, COORD.
POWER & SWITCHING,
SEE E.30

FENCE CLOSURE
RETURN PANEL, FIT
TO CONDITIONS,
ANCHOR ONLY TO
FENCE POST,
MAINTAIN 1" CLEAR
OF REPLACEMENT
STRUCTURE VENEER,
TYP.

NEW REPLACEMENT STRUCTURE
FOUNDATION BELOW, SEE FOUNDATION
PLAN, STRUCTURAL DRAWING S.01, TYP.

NEW WINDOW TO FIT NEW FRAME &
MASONRY OPENING, NEW JAMB BLKG,
SIZE TO FIT / COORD. w/ WINDOW
SCHEDULE, TYP.

COORD. GYP.BD. or HARDWOOD JAMB
EXTENSIONS & TRIM, OWNER SELECTED
FINISH, TYP.

NEW STOOP, 27"x54",
SEE SECTIONS, TYP.

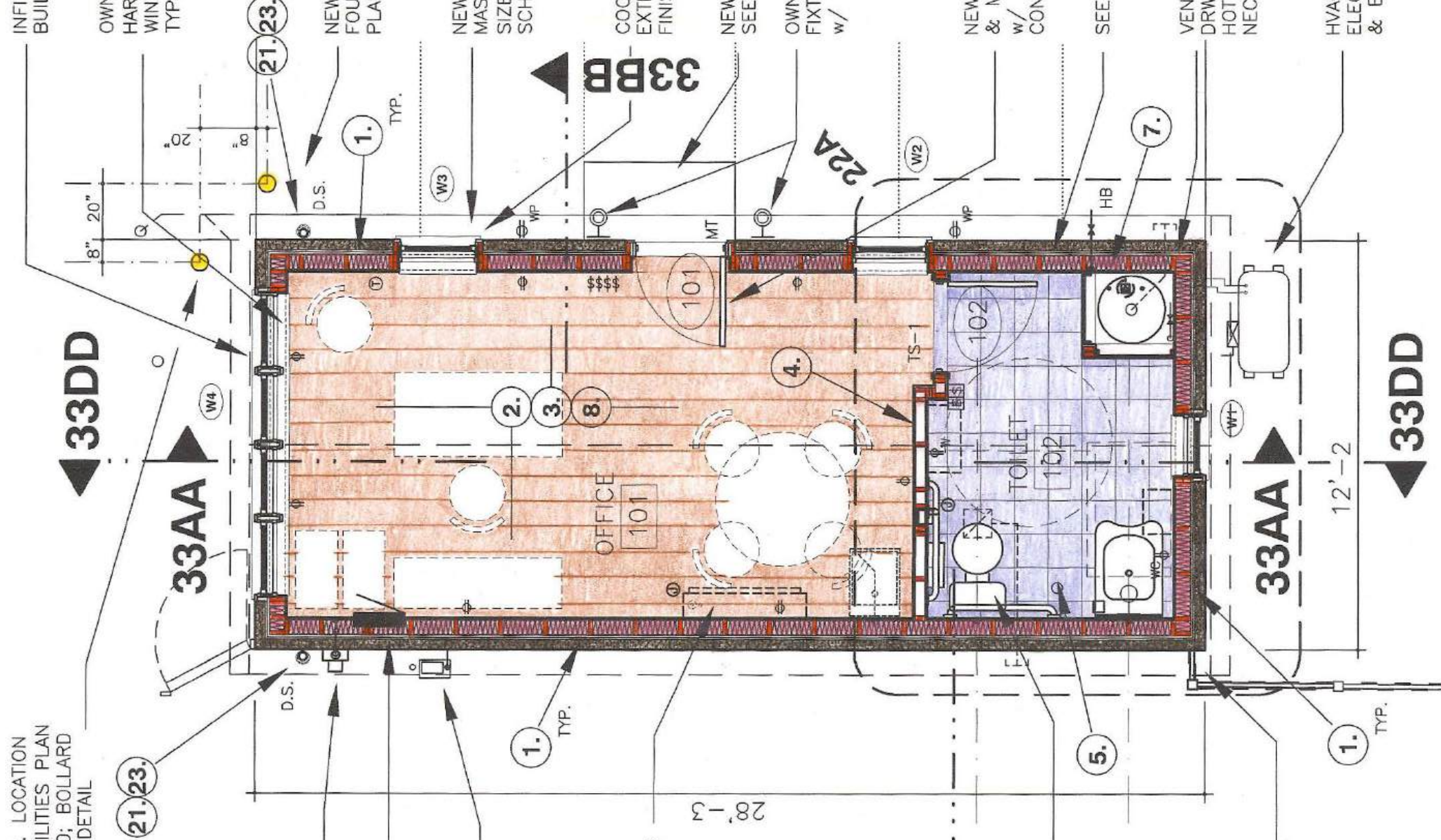
OWNER SELECTED LIGHT
FIXTURE, COORD.
w/ ELECTRICAL

NEW DOOR TO FIT NEW FRAME
& MASONRY OPENING, COORD.
w/ DOOR SCHEDULE & FIELD
CONDITIONS, TYP.

SEE DETAIL PLAN FOR DIMENSIONS, TYP.

VENTED HOT WATER TANK, SEE PLUMBING
DRWG. M.30, COORD. WATER METER,
HOTWATER TANK, & RELATED ITEMS AS
NECESSARY, TYP.

HVAC CONDENSING UNIT, LINE SET, &
ELECTRICAL, COORD., SEE DRWGS. M.30
& E.30, TYP.

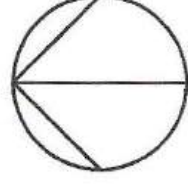
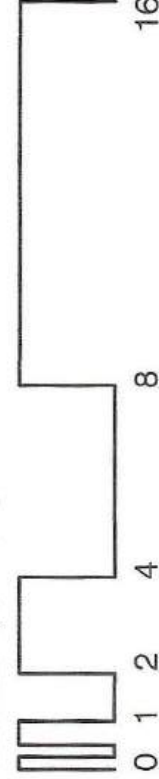


REPLACEMENT STRUCTURE

344 g.s.f.

31A Building Floor Plan

SCALE: 1/4" = 1'-0"



NORTH

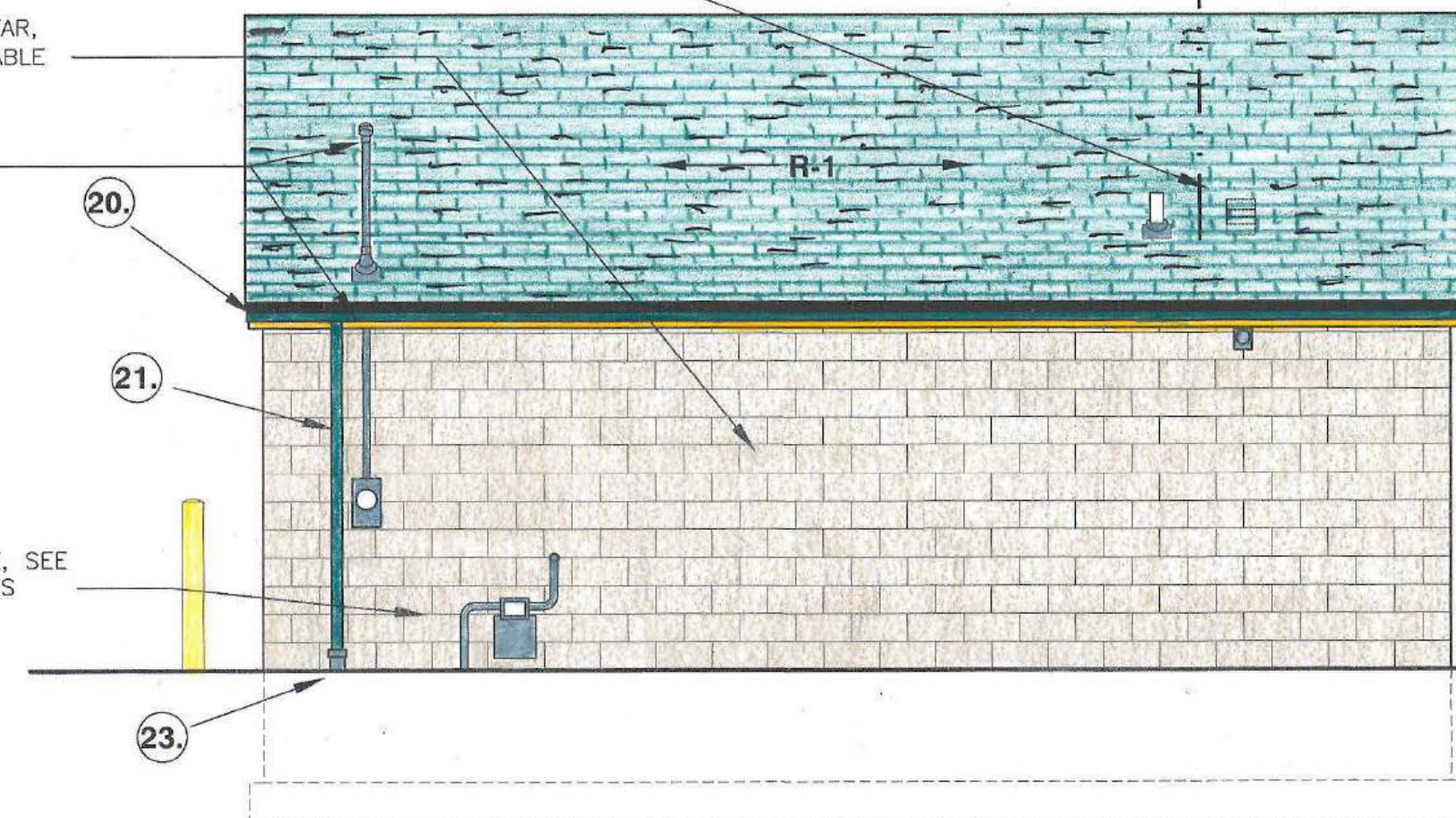
F.V. ROOF or WALL DISCHARGE FOR EXHAUST FAN, COORD. w/ M.C., PREFERENCE FOR WALL DISCHARGE IF POSSIBLE, TYP.

REPLACEMENT STONE MASONRY VENEER FRAME STRUCTURE, HISTORIC HEAVY SAND MORTAR, SEAL MASONRY w/ BREATHABLE SEALER, TYP.

NEW EA & MM, SEE DRWG. E.30

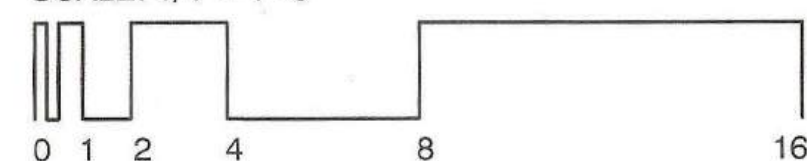
NEW GAS METER & SERVICE, SEE DRWG. M.30 & SITE UTILITIES PLAN DRWG. SD.34, TYP.

33CC

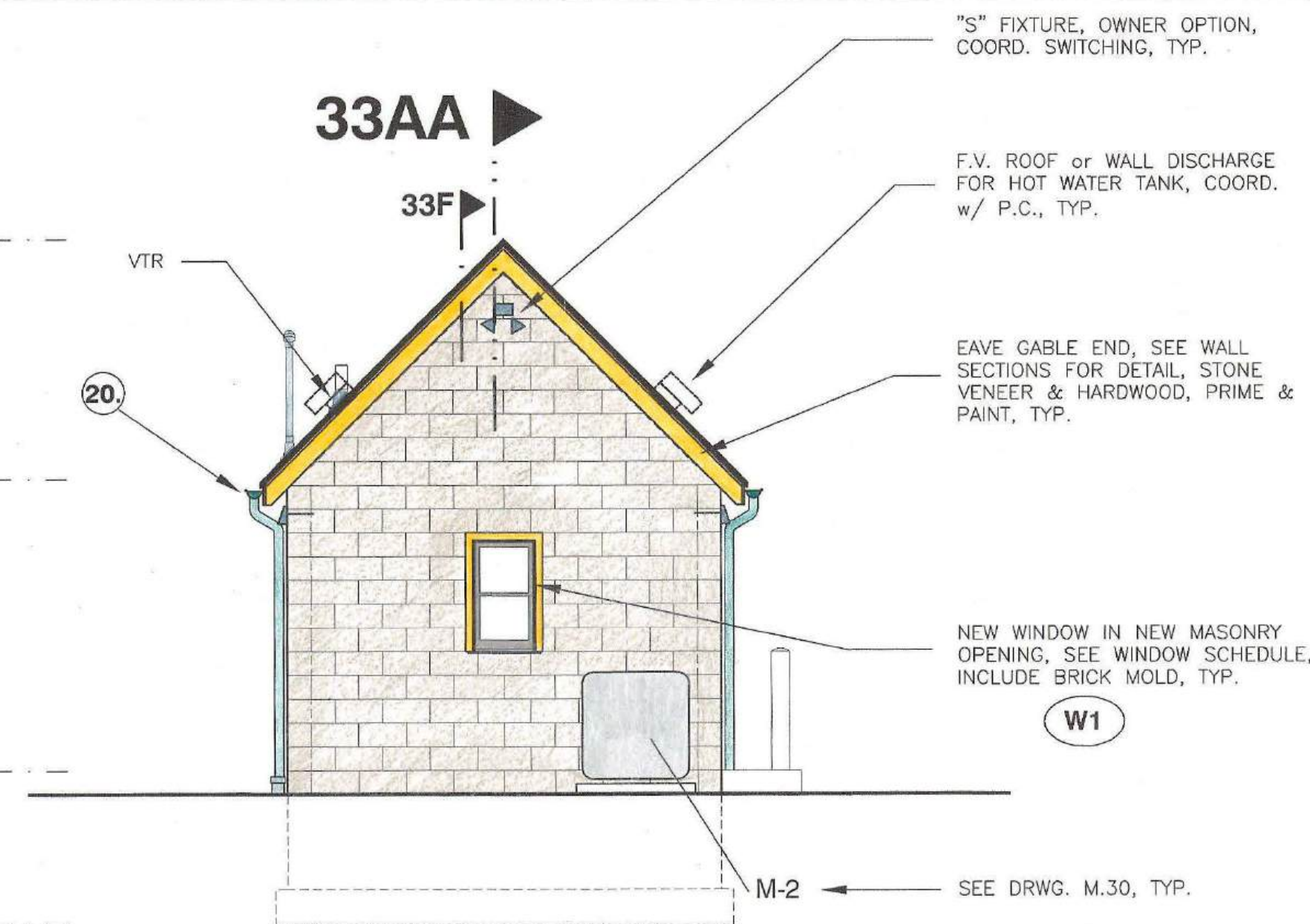


REPLACEMENT STRUCTURE
33A WEST Elevation

SCALE: 1/4" = 1'-0"



33AA



REPLACEMENT STRUCTURE
33B SOUTH Elevation

SCALE: 1/4" = 1'-0"

33BB

F.V. ROOF or WALL DISCHARGE FOR HOT WATER TANK, COORD. w/ P.C., PREFERENCE FOR WALL DISCHARGE, TYP.

HOSE BIB
WATER METER
REMOTE READ

M-2

NEW STOOP, SEE SITE PLAN SD.32 FOR GRADING & SPOT ELEVATIONS, TYP. (27"x54"x8" / -24")



REPLACEMENT STRUCTURE
33C EAST Elevation

SCALE: 1/4" = 1'-0"

OWNER SELECTED SCONCE FIXTURE; JELLY JAR WALL MOUNTED INDICATED, COORD. w/ E.C., TYP.

NEW ENTRY DOOR, SEE FLOOR PLAN & DOOR SCHEDULE, TYP.

BOLLARD, PER DETAIL 3404, TYP.

REPLACEMENT STRUCTURE FOUNDATION COMPLETE, SEE FOUNDATION PLAN, DRAWING S.30, TYP.

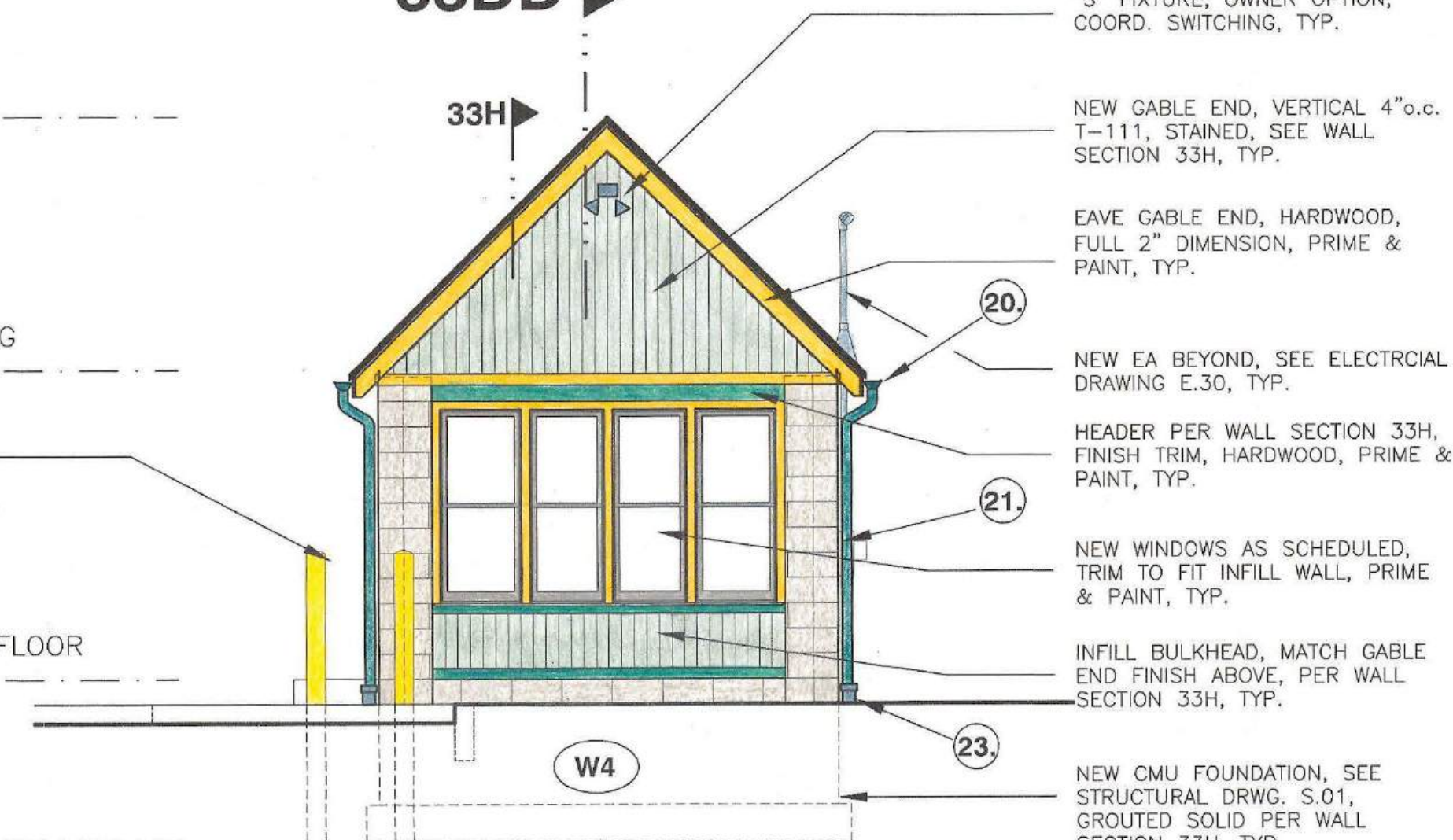
RIDGE

BEARING

FIRST FLOOR

B.O.F.

33DD



REPLACEMENT STRUCTURE
33D NORTH Elevation

SCALE: 1/4" = 1'-0"

"S" FIXTURE, OWNER OPTION, COORD. SWITCHING, TYP.

F.V. ROOF or WALL DISCHARGE FOR HOT WATER TANK, COORD. w/ P.C., TYP.

EAVE GABLE END, SEE WALL SECTIONS FOR DETAIL, STONE VENEER & HARDWOOD, PRIME & PAINT, TYP.

NEW WINDOW IN NEW MASONRY OPENING, SEE WINDOW SCHEDULE, INCLUDE BRICK MOLD, TYP.

SEE DRWG. M.30, TYP.

"S" FIXTURE, OWNER OPTION, COORD. SWITCHING, TYP.

NEW GABLE END, VERTICAL 4" o.c. T-111, STAINED, SEE WALL SECTION 33H, TYP.

EAVE GABLE END, HARDWOOD, FULL 2" DIMENSION, PRIME & PAINT, TYP.

NEW EA BEYOND, SEE ELECTRICAL DRAWING E.30, TYP.

HEADER PER WALL SECTION 33H, FINISH TRIM, HARDWOOD, PRIME & PAINT, TYP.

NEW WINDOWS AS SCHEDULED, TRIM TO FIT INFILL WALL, PRIME & PAINT, TYP.

INFILL BULKHEAD, MATCH GABLE END FINISH ABOVE, PER WALL SECTION 33H, TYP.

NEW CMU FOUNDATION, SEE STRUCTURAL DRWG. S.01, GROUTED SOLID PER WALL SECTION 33H, TYP.

33D NORTH ELEVATION BEYOND

Existing Conditions Notes:

301 EXTERIOR COLORS:

PT-15 INCLUDES DRIP EDGE & ALL
FLASHINGS ABOVE & BELOW DRIP EDGE,
TYP.

SYMBOL	COLOR NO.	COLOR	FINISH	LOCATION	REMARKS
PT-10	SW# 6741	Derbyshire	gloss	gutters and downspouts	color to be validated
PT-11	SW# 6073	Perfect Greige	flat	stone	color to match "sandstone"
PT-12	SW# 7757	High Reflective White	flat	soffit	OR "soft grey"
PT-13	SW# 6740	Kilkenny	gloss	accent trim	color to be validated
PT-14	SW# 6730	Romaine	semi-gloss	exterior wall panel	could match PT-13
PT-15	SW# 6258	Tricorn Black	gloss / flat	ornamental fence	color to be validated
PT-16	SW# 0037	Morris Room Grey	semi-gloss	sash	matches Pella window color "Fossil"
PT-17	SW# 6690	Gambol Gold	semi-gloss	window & door trim	includes roof eave fascia & gutter board
PT-18	SW# 6906	Citrus	gloss	bollards	color to be "safety yellow"
PT-19	SW# ____	xxx	semi-gloss	xxx	color to be validated

30 JUNE 2025

DESIGN PRESENTATION

AKW, Inc. Proj. No. 2037a

ARCHITECTURE
PLANNING
DESIGN
RESTORATION
PRESERVATION

**6806 Harvard Avenue**

B21007055

EXTERIOR COLORS:

(from drawing A.33)

YG/G/138 SW 6741 ^P	Derbyshire	PT-10	Derbyshire sw 6741
FN74 SW 6073	Perfect Greige	PT-11	Perfect Greige sw 6073
		PT-12	High Reflective White sw 7757
YG/G/137 SW 6740 [◇]	Kilkenny	PT-13	Kilkenny sw 6740
YG/G/113 SW 6730	Romaine	PT-14	Romaine sw 6730
FN259 SW 6258	Tricorn Black	PT-15	Tricorn Black sw 6258
IPP/37 SW 0037 [◇]	Morris Room Grey	PT-16	Morris Room Grey sw 0037
YG/G/5 SW 6690 ^P	Gambol Gold	PT-17	Gambol Gold sw 6690
YO/Y/94 SW 6906 ^P	Citrus	PT-18	Citrus sw 6906







Cleveland City Planning Commission

Staff Report



CITY OF CLEVELAND
Mayor Justin M. Bibb

August 1, 2025

CSE2025-026 – 6806 Harvard, Car Sales Lot w/ Office

August 1, 2025

CSED Rac recommended final approval with conditions on 7/8/25:

- Specify the shrub type named everlow yew
 - Space proposed shade trees at 30 ft on center
 - Clean up drive apron and entry drive by sliding curb apron east along Harvard Ave
 - Eliminate two bollards at the front due to that adjustment
 - Pull the ornamental fence back from the proposed curb approximately 3 ft.
-

Cleveland City Planning Commission

Euclid Corridor Buckeye Design Review



CITY OF CLEVELAND
Mayor Justin M. Bibb

August 1, 2025

EC2025-021 – Cleveland Foundation, A1 Building Demolition

August 1, 2025

Project Address: 7107/7113 Euclid Ave

Type: Demolition

Project Representative: Victor Barbalato, Cleveland Foundation

Approval: Final

Ward 7: Council Member Howse-Jones

SPA: Fairfax

**CDCs: Burten, Bell, Carr Dev. Corp.,
Fairfax Renaissance Dev. Corp., &
Midtown Cleveland, Inc.**

A-1 Building Demolition

Proposal by The Cleveland Foundation



City Planning Commission
August 1, 2025

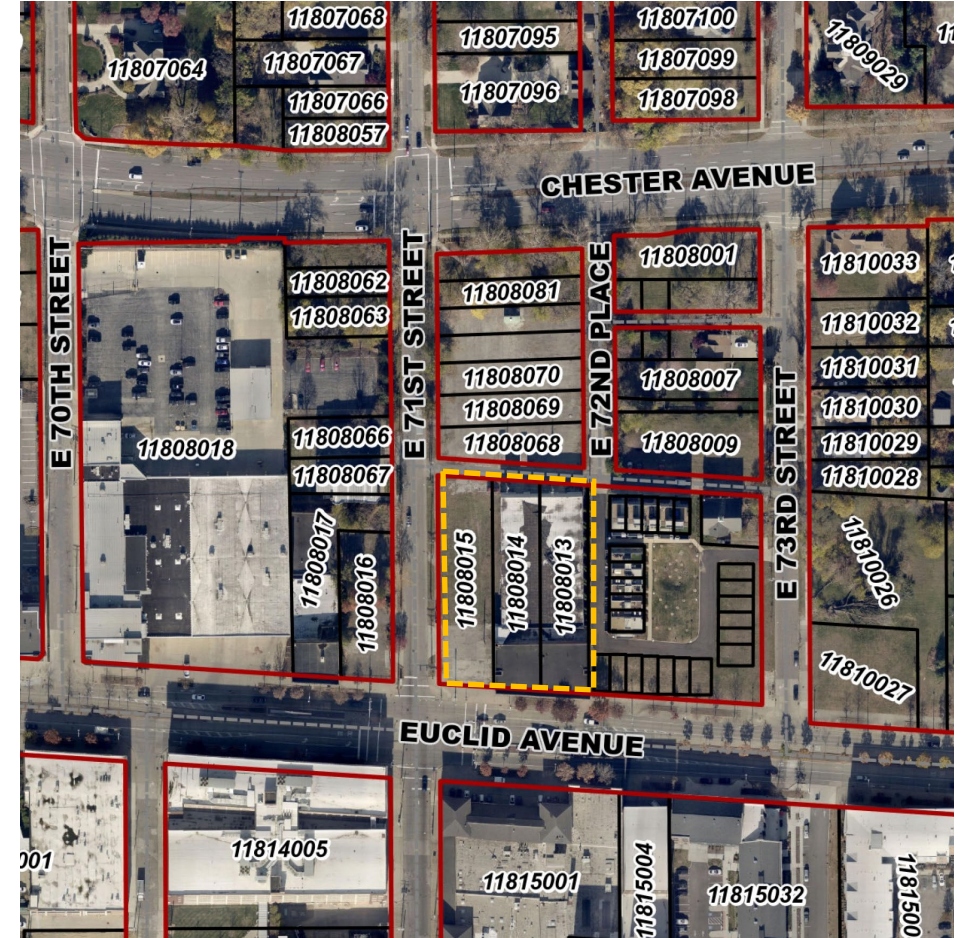
Agenda

- **Project Summary**
- **Building History & Context**
- **Existing Conditions & Demolition**
- **Next Steps & Future Plans**

Agenda

- **Project Summary**
- Building History & Context
- Existing Conditions & Demolition
- Next Steps & Future Plans

A photograph of a street scene. In the foreground, a concrete sidewalk is lined with several cylindrical concrete bollards. To the right, a modern glass bus shelter stands on a paved area. In the background, a two-story brick building is covered in colorful graffiti, including a large mural of a face. The sky is blue with scattered white clouds.



CLEVELAND
Foundation

Written Project Summary

The Cleveland Foundation **requests approval to demolish the former A-1 Liquidator Building** at 7107/7113 Euclid Avenue (parcels 118-08-013, 014, & 015). The site is vacant and blighted and is not a designated landmark. Environmental assessments found that soil remediation is not needed.

A demolition grant of approximately \$325,000 was awarded by the Ohio Department of Development, which required a partial financial match of approximately \$108,000 from The Cleveland Foundation. To avoid losing access to these funds, **we seek approval to utilize the grant before it expires at the end of 2025.**

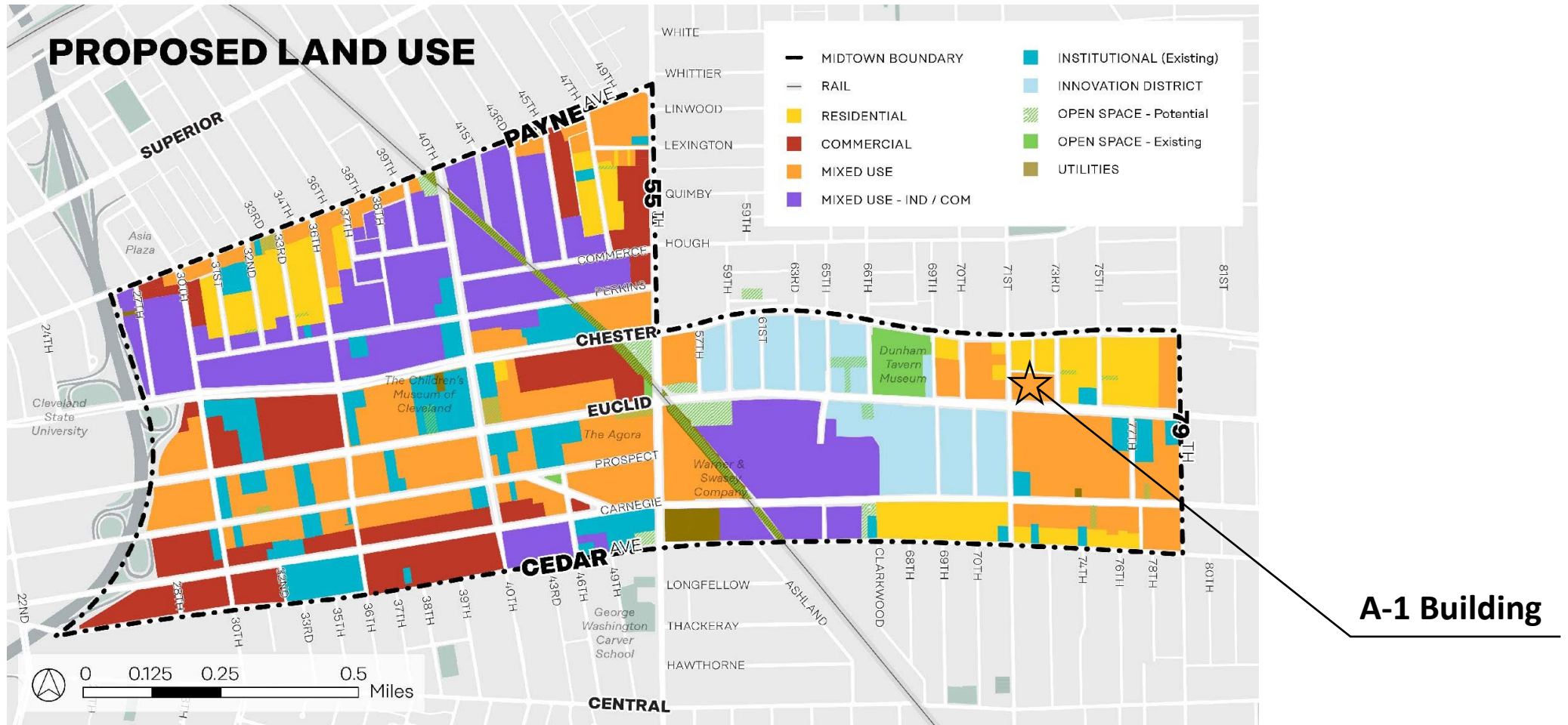
The South and West facades of the building feature murals from the 2021 Cleveland Walls! project, which have been documented for preservation. **Select architectural elements may be salvaged for reuse.**

In parallel with demolition efforts, **The Cleveland Foundation will actively pursue a developer partner to lease the site for new construction.** Leasing, rather than selling, ensures long-term stewardship of the property and alignment with our mission and evolving community needs.

Agenda

- Project Summary
- **Building History & Context**
- Existing Conditions & Demolition
- Next Steps & Future Plans

Our work, and today's request, is guided by the vision that was adopted by the City Planning Commission in 2021



MidTown Vision Plan as adopted by the City
Planning Commission in 2021

A diverse mix of buildings border the site, including single and multifamily homes, as well as commercial & light industrial facilities

First Energy
7001 Euclid Ave

Euclid Gallery
7029 Euclid Ave

RTA HealthLine
Stations

Dealer Tire
7012 Euclid Ave



Vincent Residence
1952 E73rd St

One MidTown Townhomes
7108-7144 Simpson Ct

Maggiora Residence
1980 E73rd St

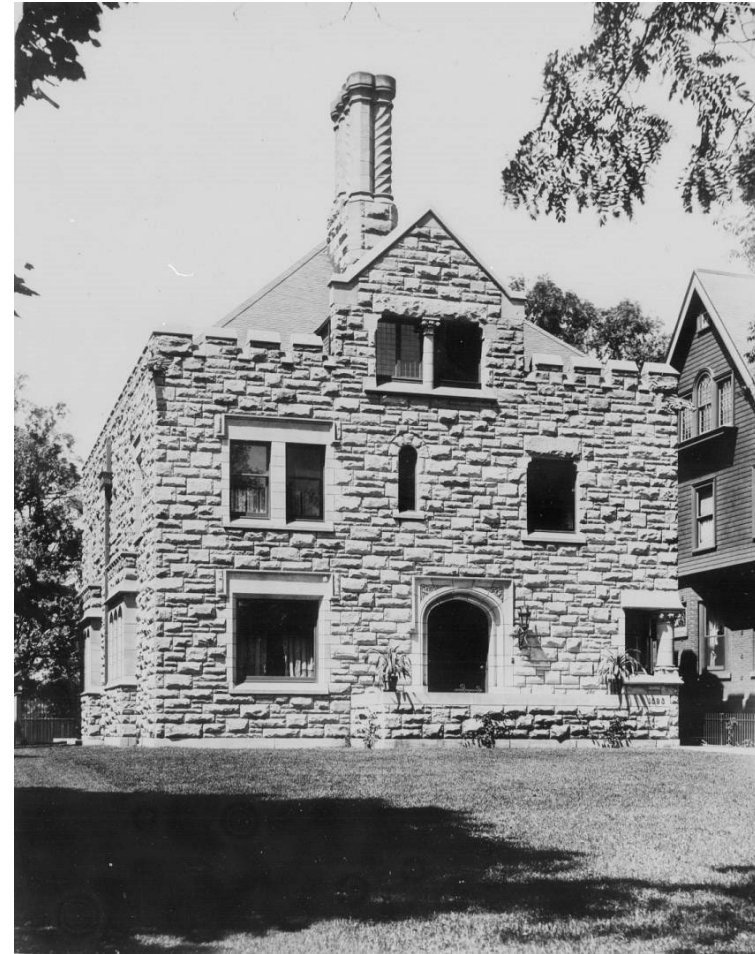
A-1 Building
7107 Euclid Ave

Baker Electric
7100 Euclid Ave

Foundry Lofts
7220 Euclid Ave

The property's history dates to the late 1800s, when it was the residence of Albert Withington which was later demolished

- **1920's:** Current building is constructed, possibly as a showroom, garage, and warehouse expansion for the Baker Electric Company
- **1960's:** Building is purchased by the Midwest Box Company to manufacture, sell, and distribute paper boxes
- **1981:** Midwest Box Company sells the building; it has changed ownership six times since
- **2019-Present:** Vacant, last known tenant is A-1 Liquidators



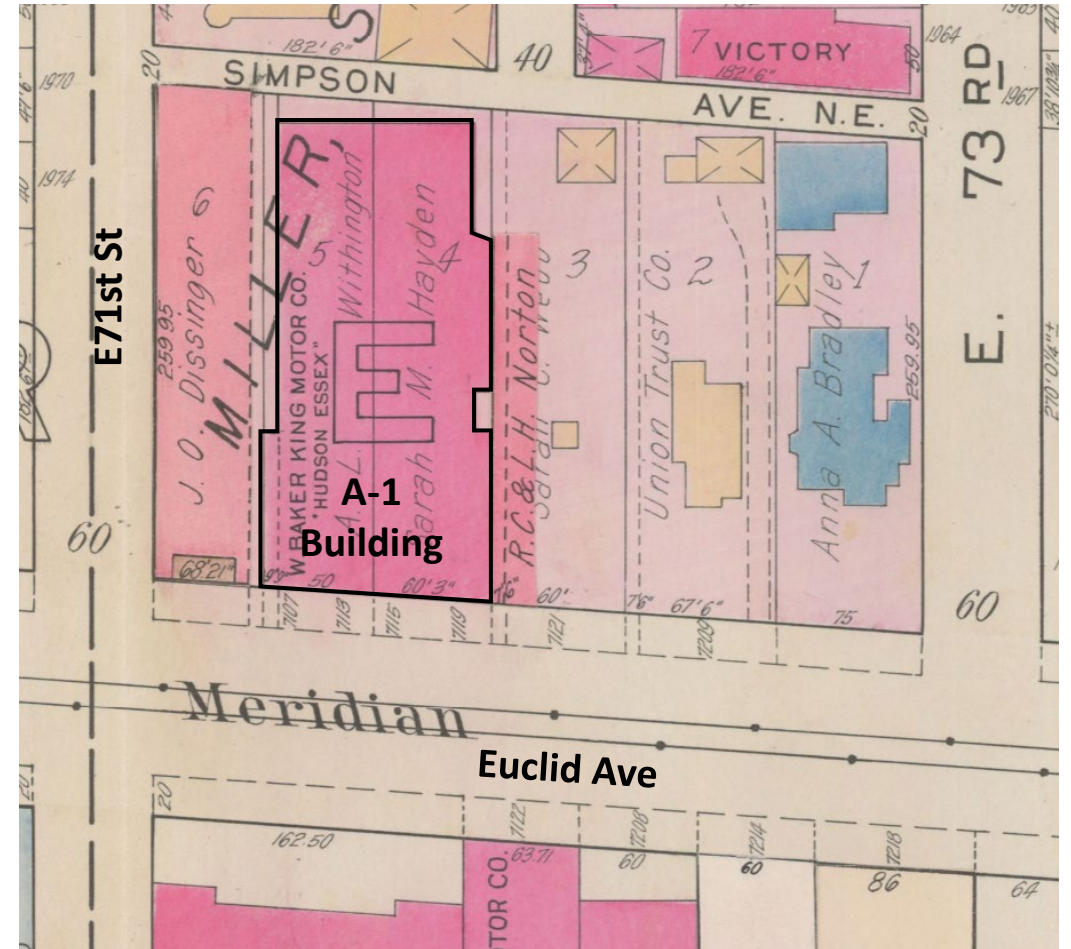
A.L. Withington Residence which was demolished

Archived plat maps provide insight into the building's original design intent, with frontage only meant to be visible on Euclid Ave

- Plat maps from 1932 indicate the A-1 Building's original design **anticipated a neighboring structure to the west on E71 St**
- The lack of ornamentation and simple construction of the west façade also suggests **it was never intended to be visible from the street**



Photo of West Façade from the intersection of Euclid & E71st St



Hopkin's Plat Map: 1932

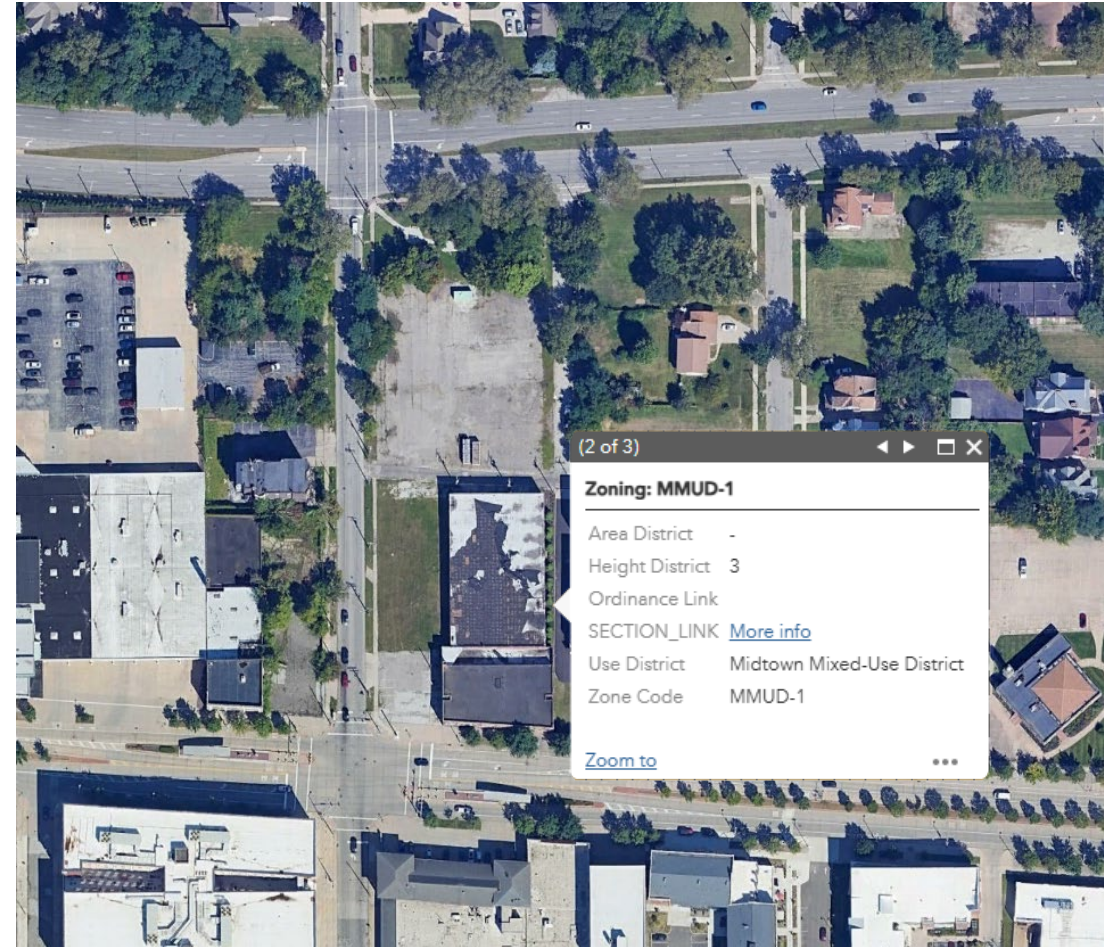
The site is in the Design Review District, but is not a designated Landmark or listed on the National Register of Historic Places

- ✓ City of Cleveland Design Review District
- ✗ Local Landmark Point
- ✗ Local Landmark Parcel
- ✗ National Register of Historic Places Cleveland
- ✗ National Historic District



The site is within the MidTown Mixed-Use District MMUD-1 zoning boundary

We request to appeal of the Design Review decision. A quorum was not present when our presentation began

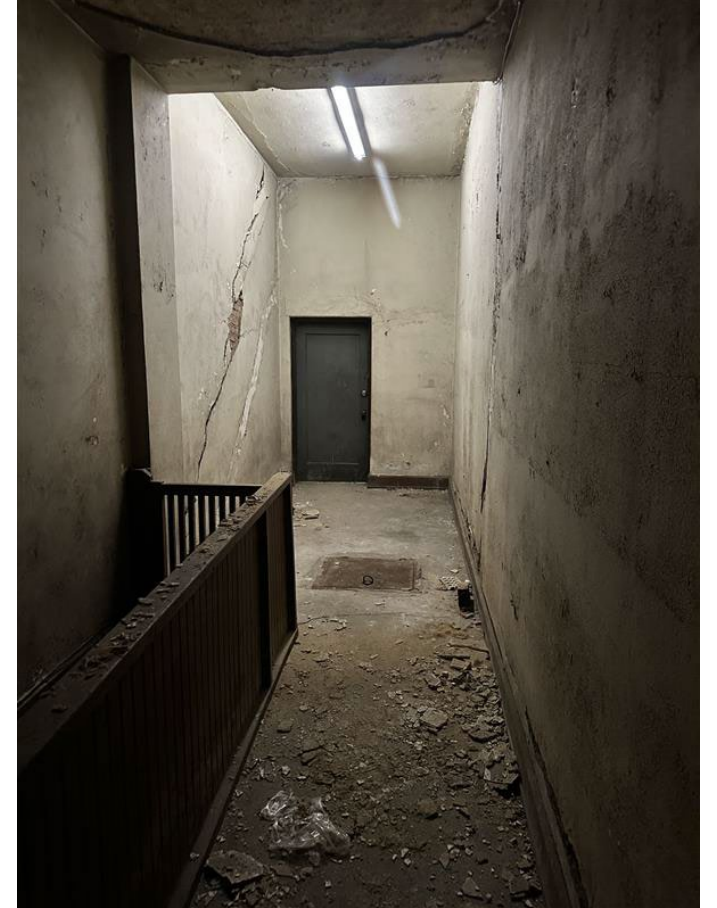


Agenda

- Project Summary
- Building History & Context
- **Existing Conditions & Demolition**
- Next Steps & Future Plans

A comprehensive study confirmed that reusing the building would be cost prohibitive and require extensive hazardous material abatement and repairs that would not be affordable to developers

- **Asbestos has been found in the following locations:**
 - Ceiling plaster
 - Wall and column plaster
 - Aircell pipe insulation
 - Floor tile and mastic
 - Drywall
 - Aircell backing pad
 - Rolled asphalt roofing
- **PCB's have been found in the following locations:**
 - Light ballasts

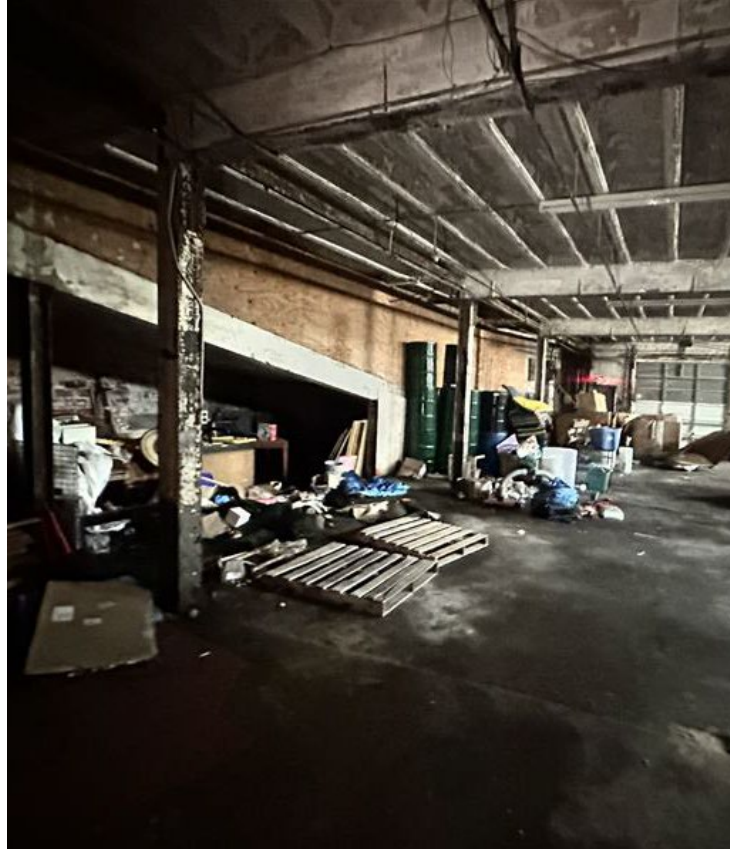


Existing condition photos of A-1 Building interior

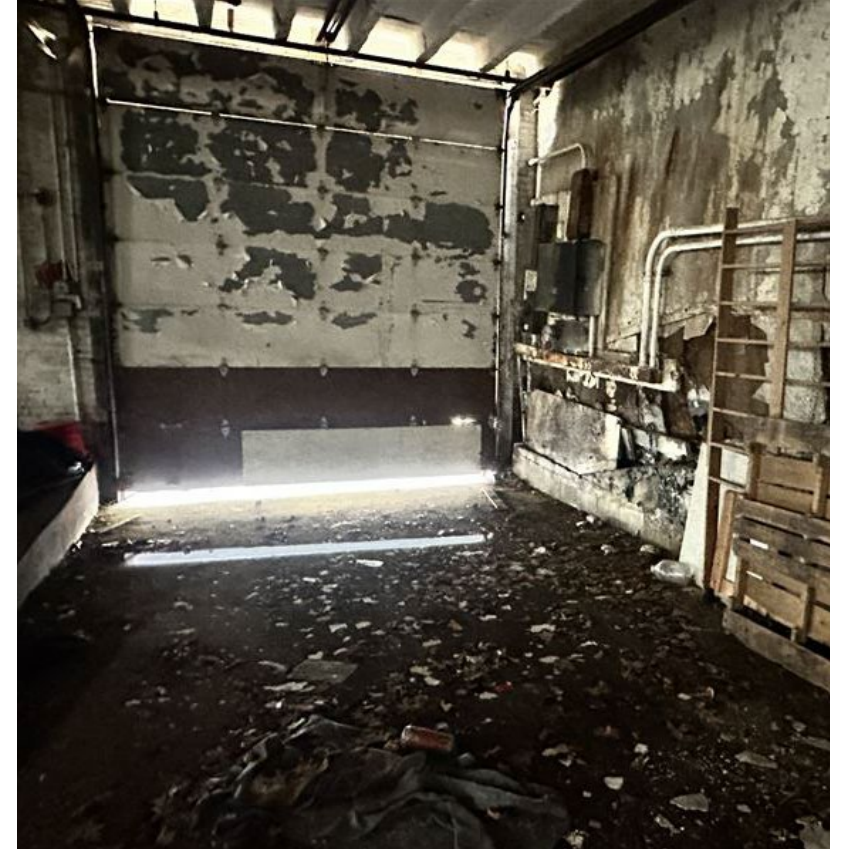
The warehouse and garage along with the rest of the building, was severely damaged before the Foundation purchased it



Warehouse & Garage:
1st Floor



Warehouse & Garage:
1st Floor w/ concrete car ramp



Warehouse & Garage:
1st Floor loading dock

Nearly every interior surface requires repair or replacement, and structural issues, including foundation movement are visible throughout



Office & Showroom:
1st Floor Entrance off Euclid Ave



Office & Showroom:
1st Floor Hallway
Significant diagonal step crack
visible in masonry wall



Office & Showroom:
2nd Floor

Even the basement has suffered significant damage with probable mold accumulation



Office & Showroom:
Basement with 2-3 inches of standing water

The rot and damage to the building is pervasive throughout and beyond reasonable repair costs



Warehouse & Garage:
2nd Floor damaged roof deck



Warehouse & Garage:
2nd Floor: General construction



Warehouse & Garage:
2nd Floor: Rotted and
damaged structure

In August 2023, the building suffered costly tornado damage that continues to cause significant maintenance issues



Aerial View of Damaged Roof



Damage Immediately After Tornado: East Elevation

Estimates from 2023 to repair and replace the damaged roof totaled \$415,000. The costs are not covered by insurance.

Salvaging the Euclid façade and trying to reuse it would limit redevelopment opportunities

- The existing building is only two stories tall and limits potential efficiency and density gains
- Space limitations, plumbing and heating costs would make it unprofitable to convert the building into a residential unit
- **Requiring a developer partner to retain portions of the building and address hazardous materials and structural concerns would likely reduce interest and prolong redevelopment**



Due to the issues presented, we were awarded an ODOD grant in 2024 to demolish the building. The grant expires at the end of 2025

The decision to demolish the A1 Building was made after careful consideration and evaluation of existing conditions

- Extensive and costly hazardous material abatement would divert funds from other community-focused initiatives
- Significant structural issues can be seen throughout the building
- Losing the demolition grant would significantly delay development



**Department of
Development**



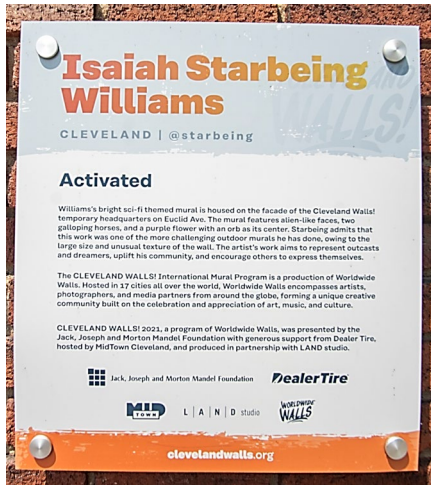
**CUYAHOGA
LAND BANK**

CLEVELAND
Foundation

Agenda

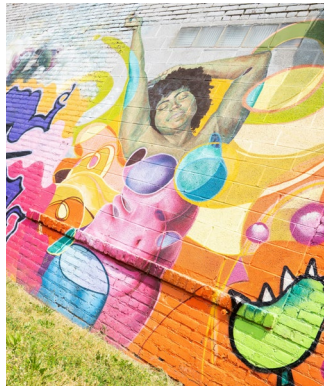
- Project Summary
- Building History & Context
- Existing Conditions & Demolition
- **Next Steps & Future Plans**

Our team will preserve the murals that were installed on the South facade in 2021 from the “Cleveland Walls!” project



- Our team had the murals professionally photographed
- We have spoken with Isaiah Starbeing Williams and have agreed to remove, store, and repurpose his art for future use by TCF or donate it to another organization

The murals on the West façade are also from the 2021 “Cleveland Walls!” project, and have been professionally photographed



- Our team had the murals professionally photographed
- When possible, the muralists have been informed of the building's potential demolition and are exploring alternate sites for their future projects

With permission from the artists, we will feature photographs of the murals as framed artwork in future buildings & exhibitions



Conceptual rendering of future mural exhibition



An example of our commitment to preservation: this restored veterans' memorial plaque was salvaged from the Stern Building (demolished in 2022) and now proudly resides in the MidTown Collaboration Center

Historic elements, including the decorative stone cornices & entry, will be preserved for possible use in future projects



South Facade

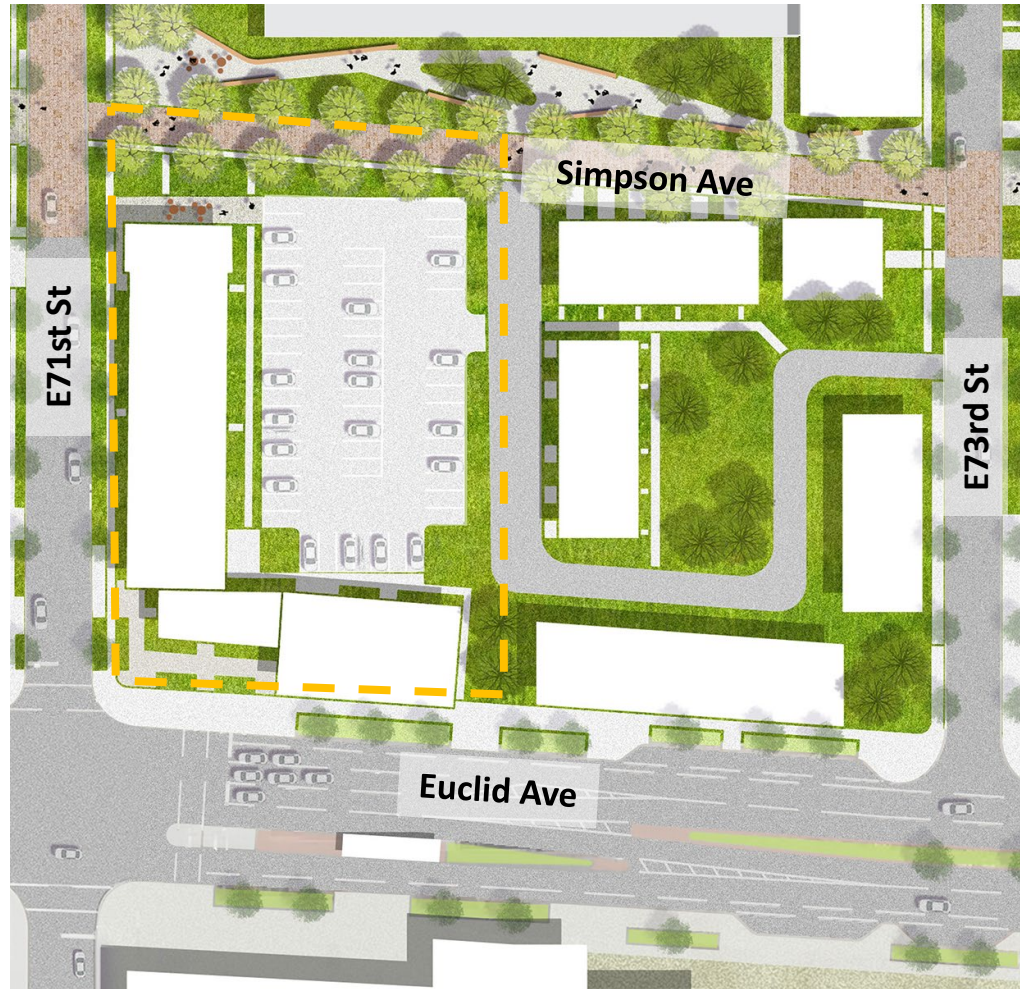


Decorative Cornice Piece
Quantity (4)



Decorative Entry Portal

The Foundation also owns the Gallery Building & property across the street that will allow for a “there, there” development opportunity at Euclid & 71st similar to our 66th development



Conceptual sketch rendering of future development at the former A-1 Building site

- The Cleveland Foundation will actively begin conversations with developers to lease the site for new construction
- The site will be temporarily grassed and made available for community use
- In alignment with the 1932 plat map, **we intend to bring building frontage back onto E71st St in addition to Euclid Ave**
- **Parking would be concealed** behind the new building

Thank you!

Cleveland City Planning Commission

Staff Report



CITY OF CLEVELAND
Mayor Justin M. Bibb

August 1, 2025

EC2025-021 – Cleveland Foundation, A1 Building Demolition

August 1, 2025

ECDRAC recommended denying final approval on 7/17/25:

- Denied for its historical importance as it was formerly a Baker Electric Building.
- Dick Pace also suggested that the building not be torn down because of its architectural character and it can be restored, maybe reused for residential.
- The board motioned for it to not be demolished for its historic importance and the fact that they felt the future development was not worth demolition of the current structure.

CPC Staff recommends to demolish the structure further from Euclid, but retain the existing building fronting Euclid.

Cleveland City Planning Commission

Downtown/Flats Design Review



CITY OF CLEVELAND
Mayor Justin M. Bibb

August 1, 2025

DF2025-032 – Rock Block Development: Cosm Cleveland

August 1, 2025

Project Address: East 4th Street + Huron Road

Type: New Construction – Commercial

Project Representative: Nora Romanoff, Bedrock

Approval: Conceptual

Ward 3: Council Member McCormack

SPA: Downtown

CDC: n/a

DF2025-034 – Bedrock – Cosm/Rock Block Construction Staging Area

August 1, 2025

Project Address: 601, 611, & 630 Prospect Rd E

Type: Temporary Installment

Project Representative: Nora Romanoff, Bedrock

Approval: Final

Ward 3: Council Member McCormack

SPA: Downtown

CDC: n/a

COSM CLEVELAND

CONCEPT APPROVAL PACKAGE | JULY 10, 2025

ROSSETTI

01	PROJECT SUMMARY
02	VICINITY PLAN
03	SITE CONTEXT
04	EXISTING CONDITIONS
05	SITE PLAN
06	ELEVATIONS AND SECTIONS
07	FLOOR PLANS
08	TREE PRESERVATION PLAN

01 PROJECT SUMMARY

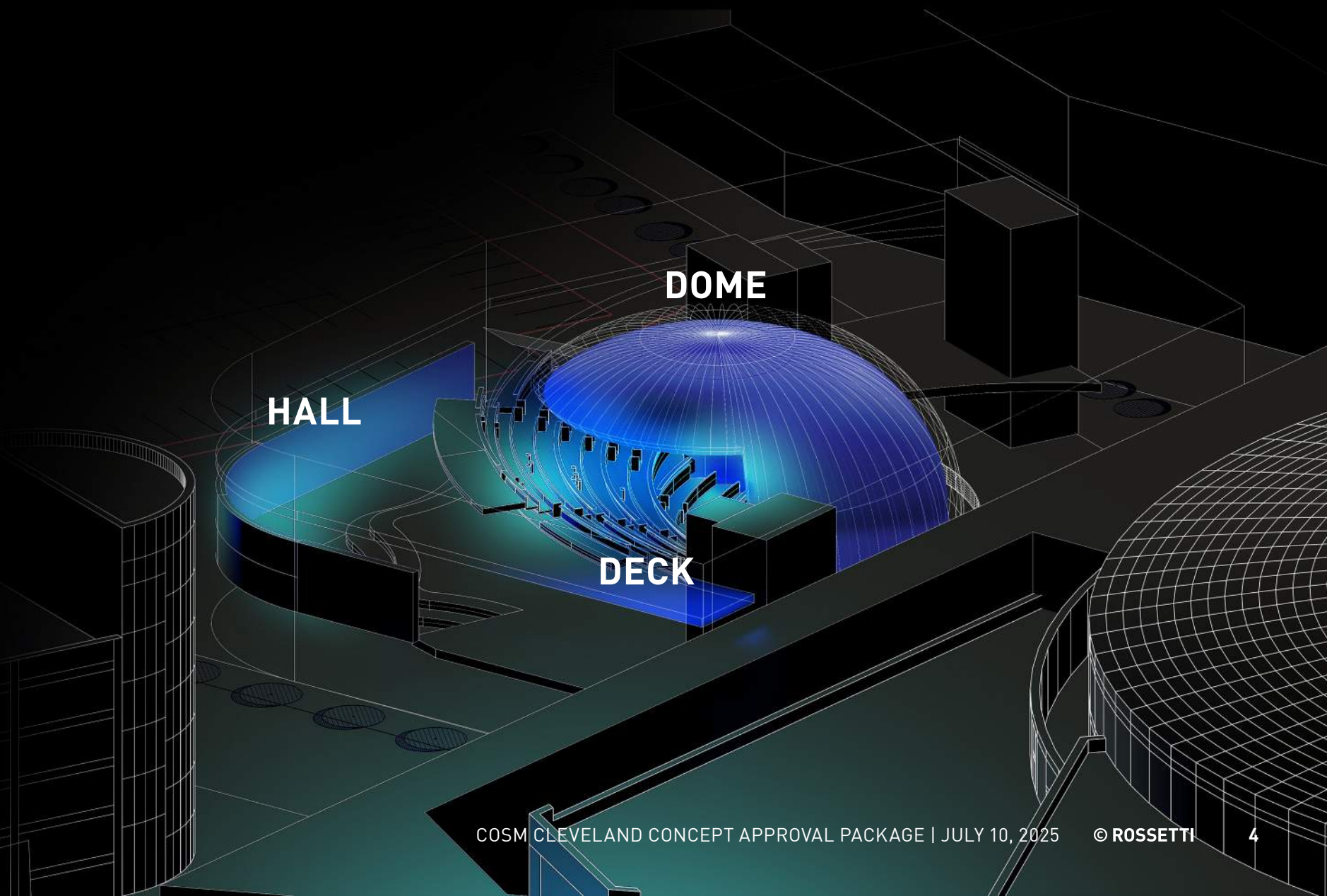
Cosm, in partnership with Bedrock-Cleveland, proposes the development of a pioneering immersive entertainment and hospitality venue known as Cosm Cleveland.

The venue will be located within the Rock Block development—bounded by Prospect Avenue East, East 4th Street, and Huron Road East—in the heart of downtown Cleveland.

Cosm Cleveland will feature three primary programmatic elements: the Dome, the Hall, and the Deck, complemented by internal food and beverage service, outdoor seating, and rooftop gathering spaces. The building will span approximately 29,000 square feet at the base, totaling roughly 70,000 square feet across three stories, with no basement level. A service curb cut is planned along Huron Road East to facilitate loading and operational needs.

Upon completion, the venue is expected to employ approximately 300 full-time staff, contributing significantly to the local economy and downtown vitality.

Bedrock will oversee the design and execution of site improvements and prepare a pad-ready site for the Cosm development team. Construction is anticipated to begin in February 2026 and proceed over an estimated 15-month timeline. The entitlement process will occur between June and November 2026.



02 VICINITY PLAN



Lake Erie

Voinovich Bicentennial Park

Rock & Roll Hall of Fame

Huntington Bank Field

Great Lakes Science Center

Strawbridge Plaza

Willard Park

The Mall

Fountain of Eternal Life

Eastman Garden

Park Plaza

Krenzel Field

Playhouse Square Plaza

Wolstein Center

Erie Street Cemetery

Progressive Field

Rocket Arena

COSM-CLE

Cleveland Public Square

Higbee Building

Tower City Center

Cuyahoga River

Towpath Trail at Tremont

5 - MIN WALK

10 - MIN WALK

03 SITE CONTEXT



THE MALL

PUBLIC SQUARE

CUYAHOGA RIVERFRONT

4TH ST

THE ARCADE

ARCADES

SITE

THE GATEWAY DISTRICT

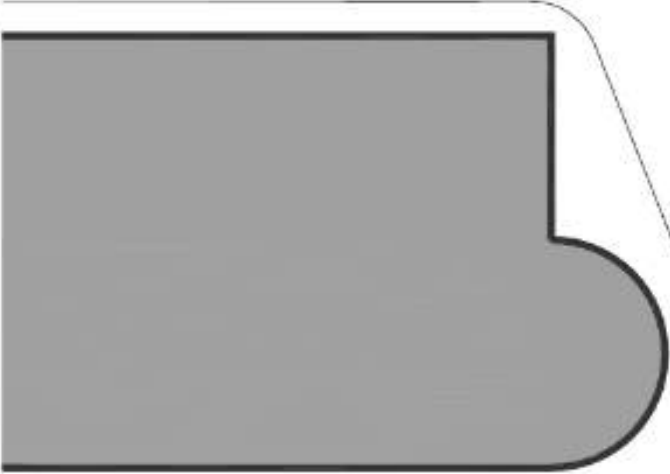
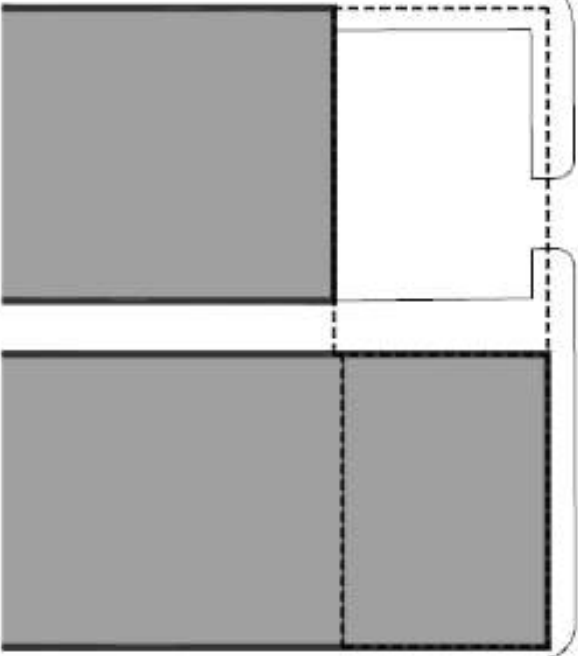
PLAYHOUSE SQUARE

10 MIN. WALK

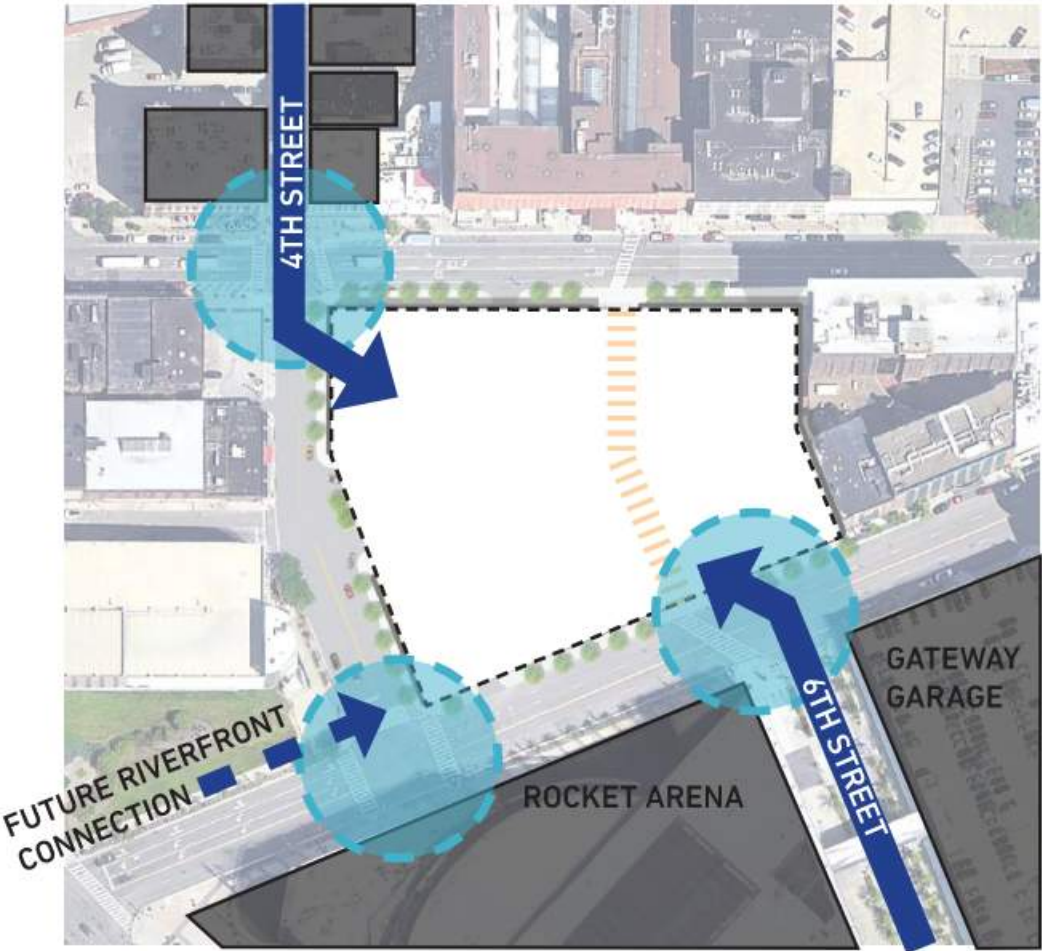
PEAK PERFORMANCE CENTER

ROCK BLOCK

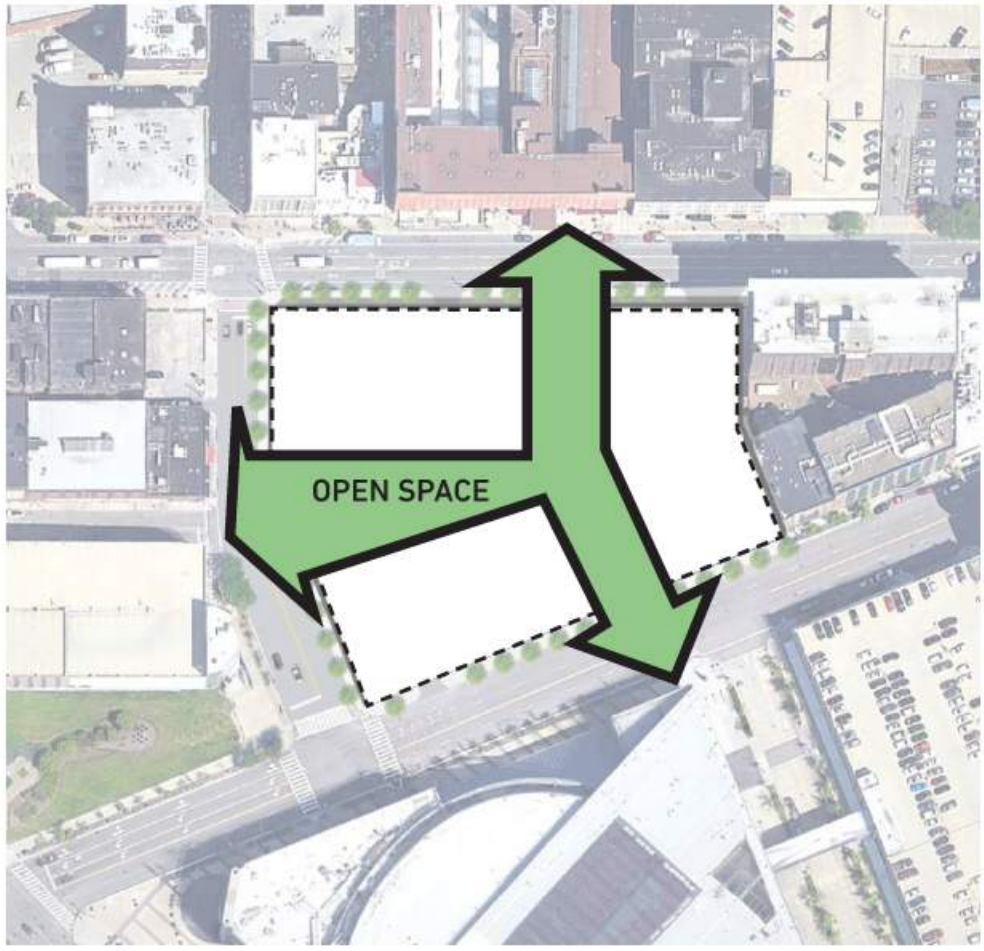
Site Plan



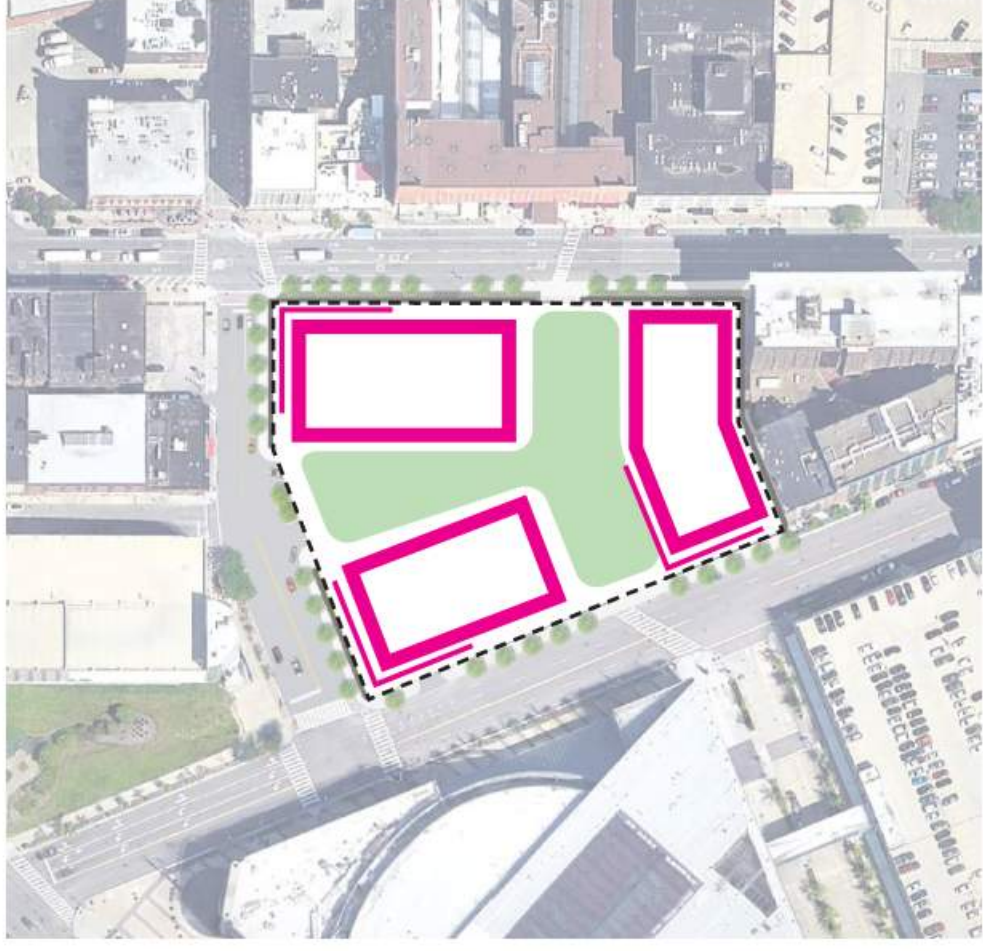
OBJECTIVES
ROCK BLOCK



Strengthen connections to broader community and provide transition from historic 4th street to arena district scale

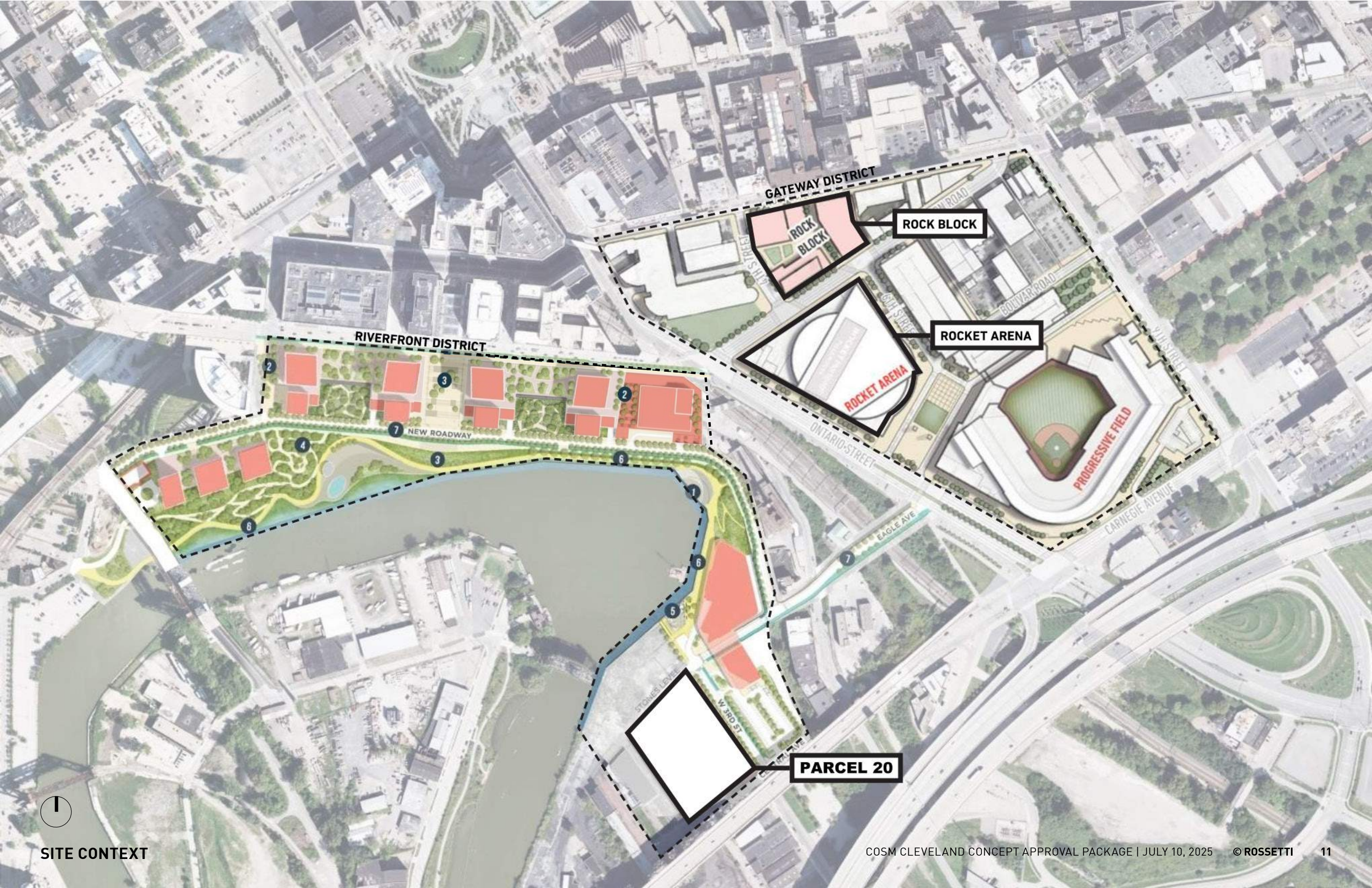


Establish identity and authentic sense of place through programming and open spaces



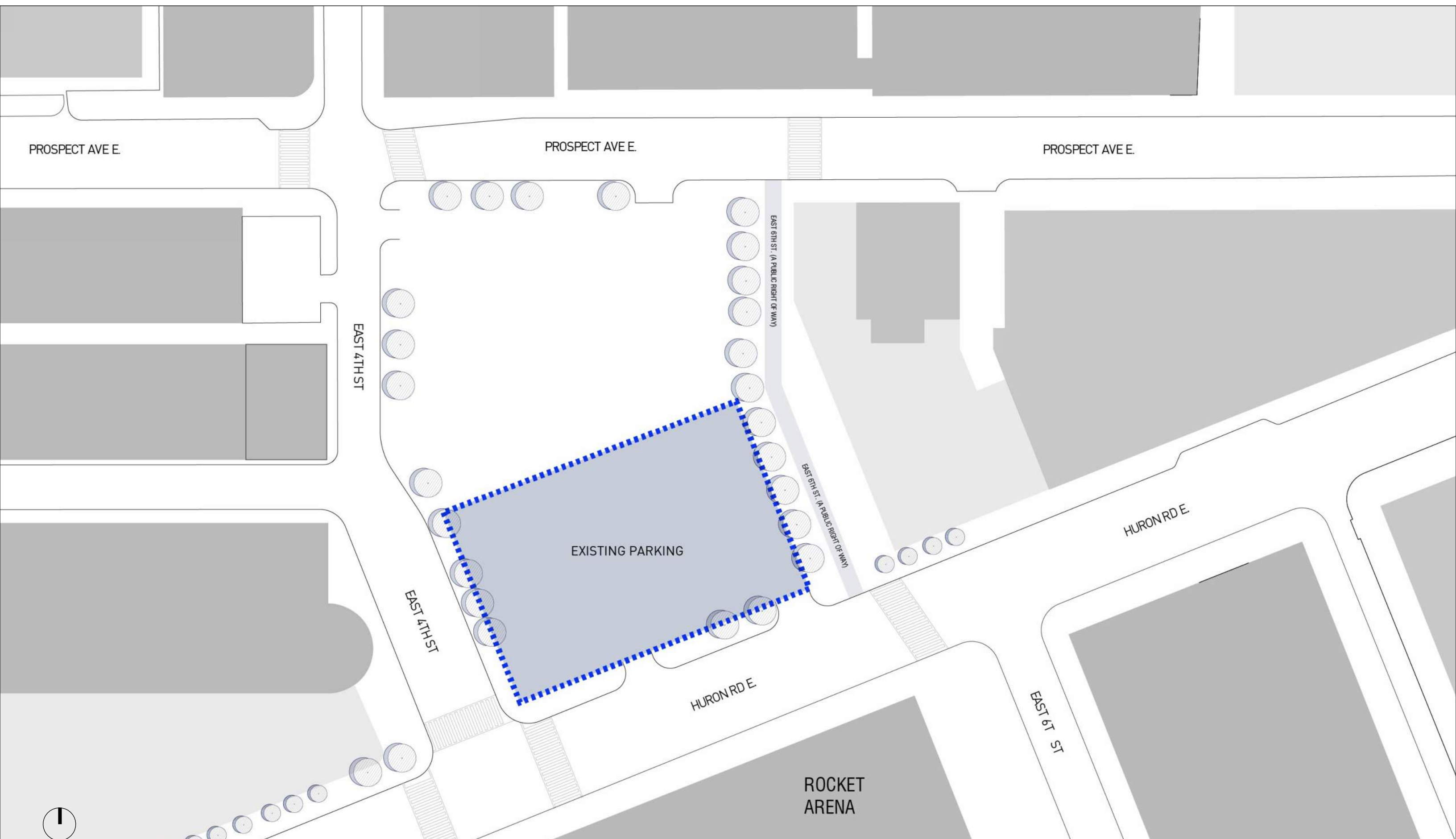
Activate with diverse mix of uses and destinations that prioritize the corners





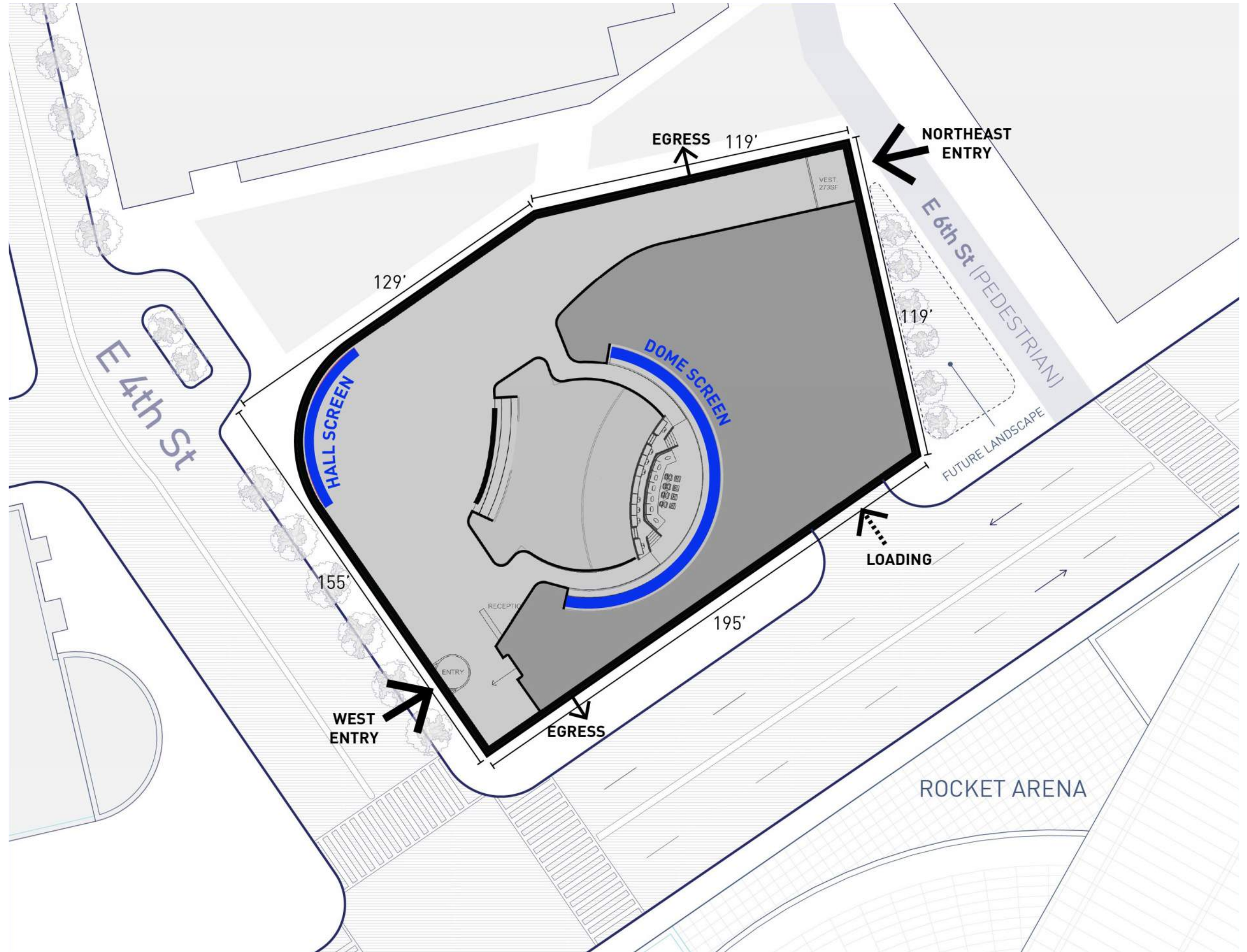


04 EXISTING CONDITIONS





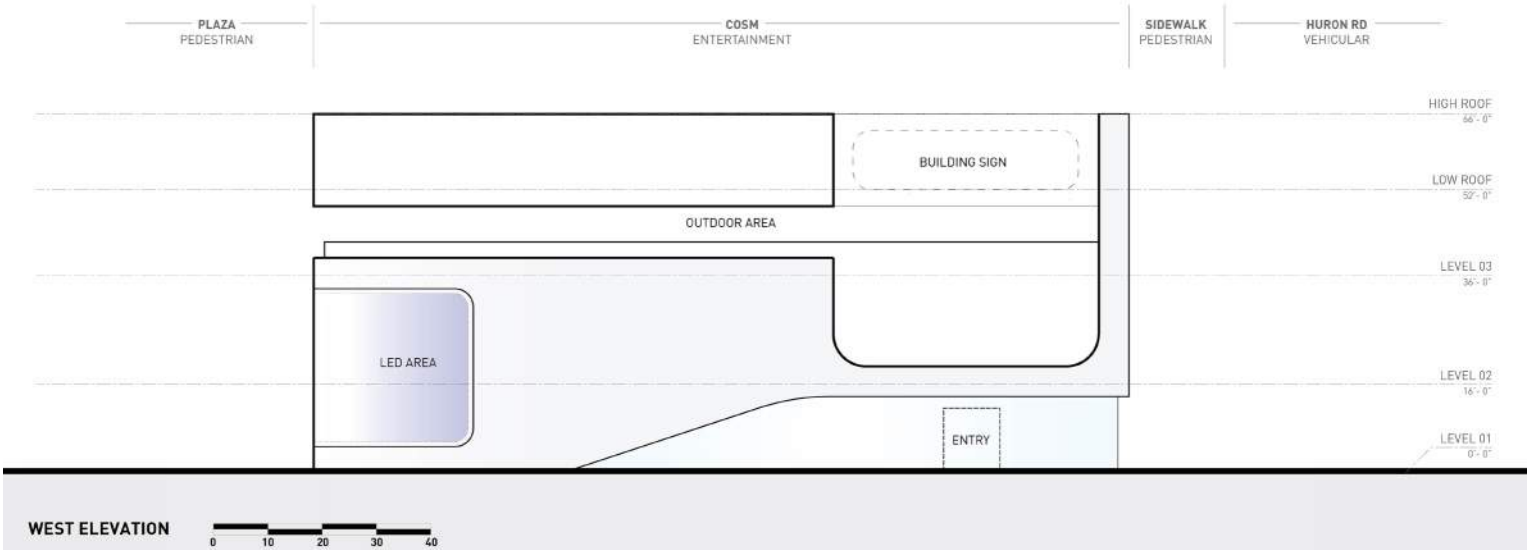
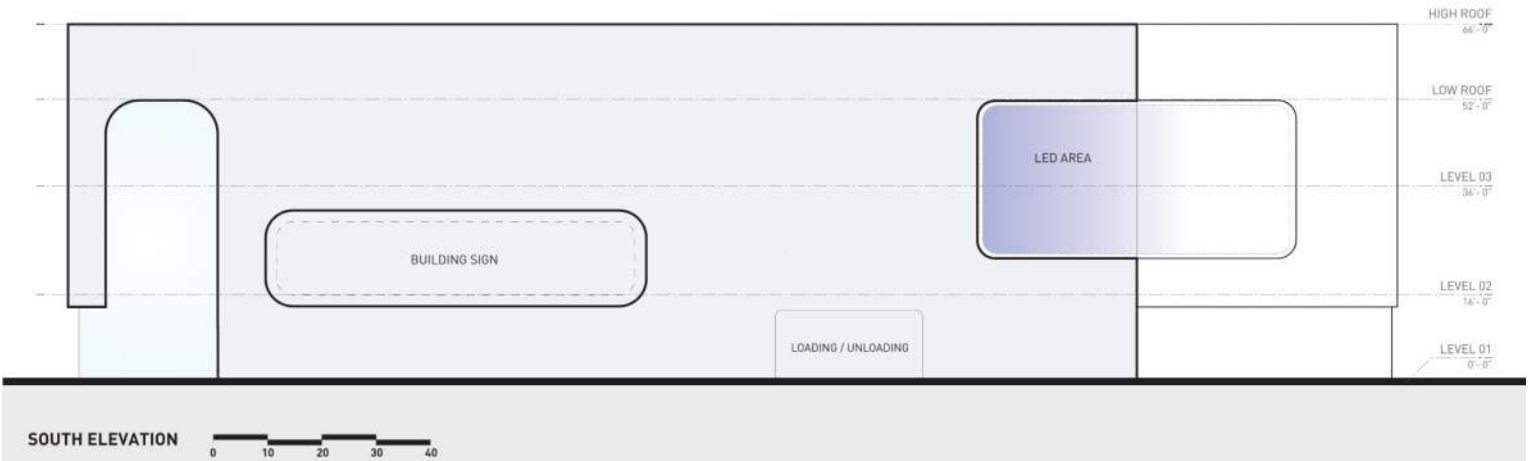
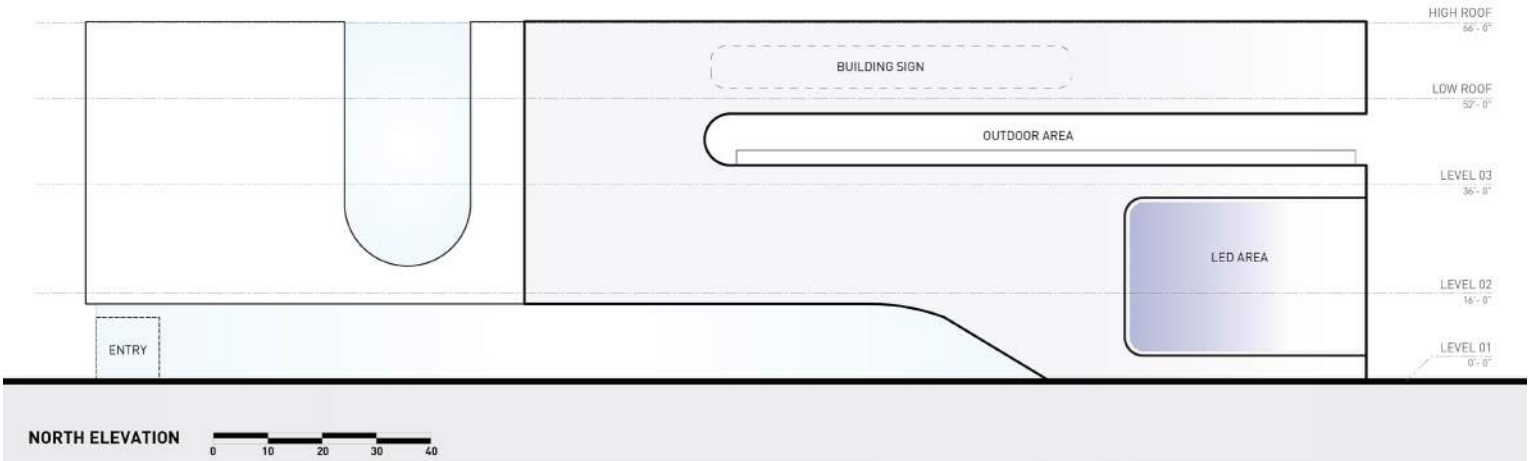
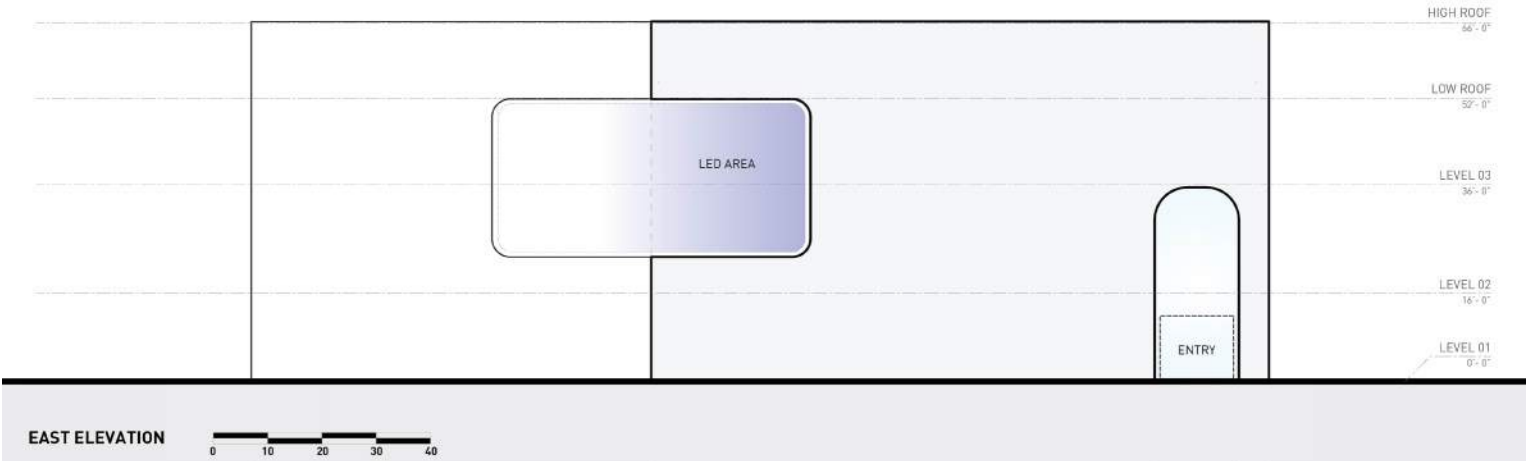
05 SITE PLAN

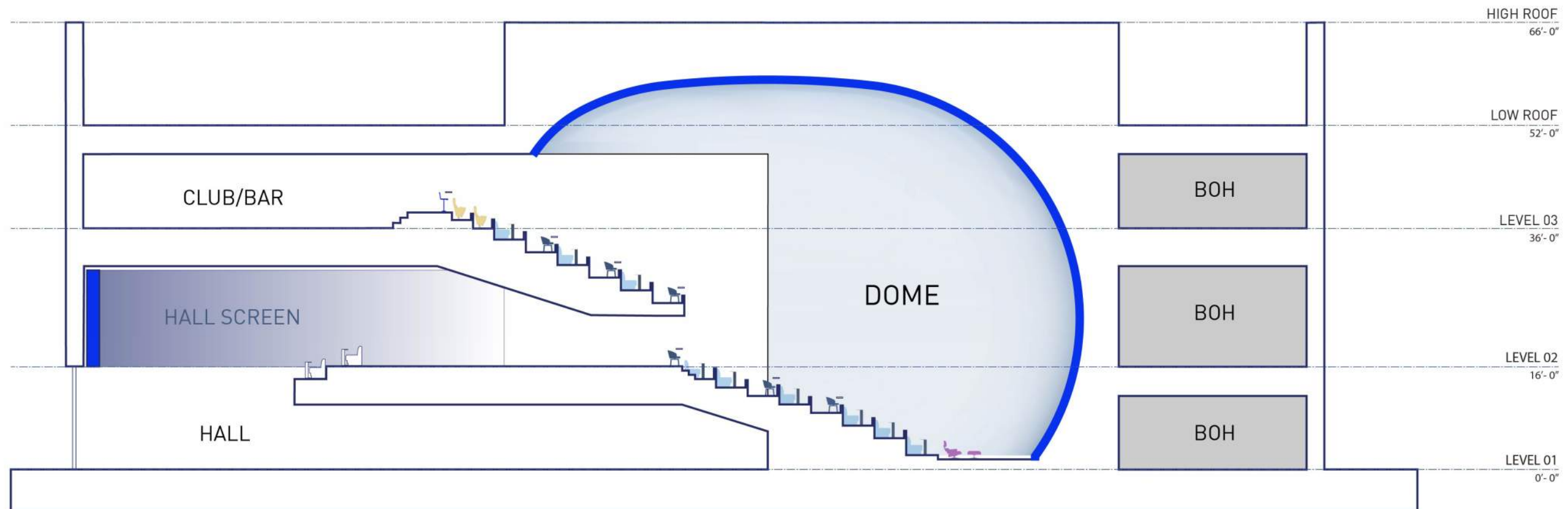


BUILDING FOOTPRINT
APPROX. 33,000 SF

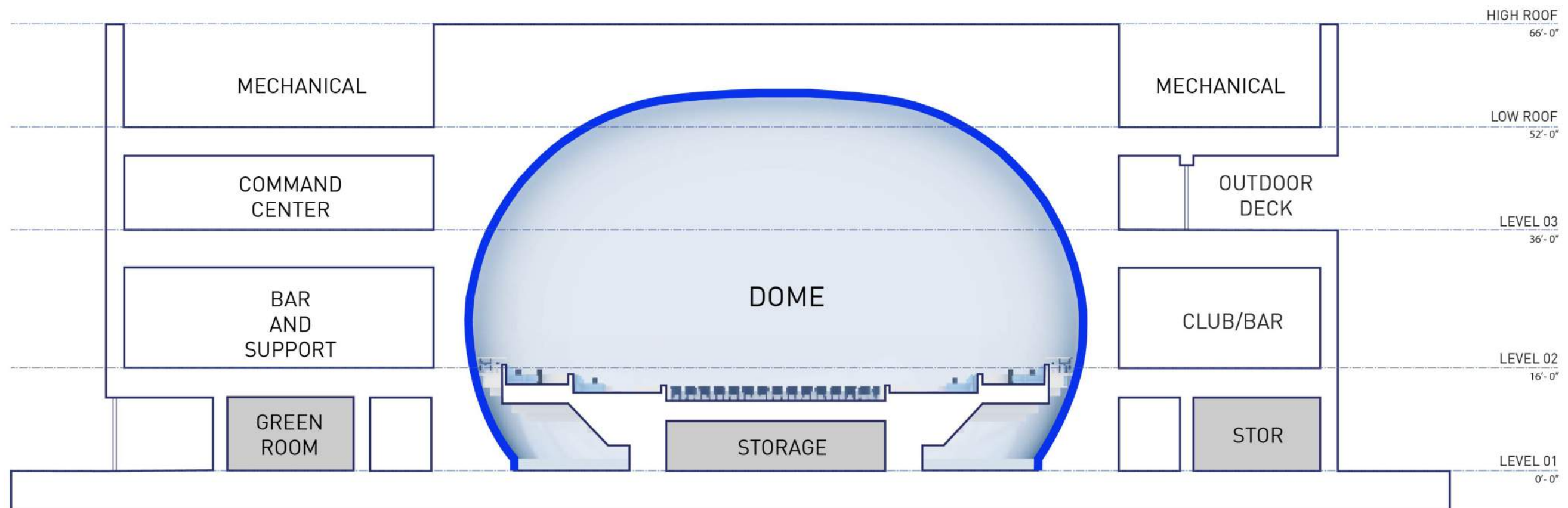


06 ELEVATIONS AND SECTIONS



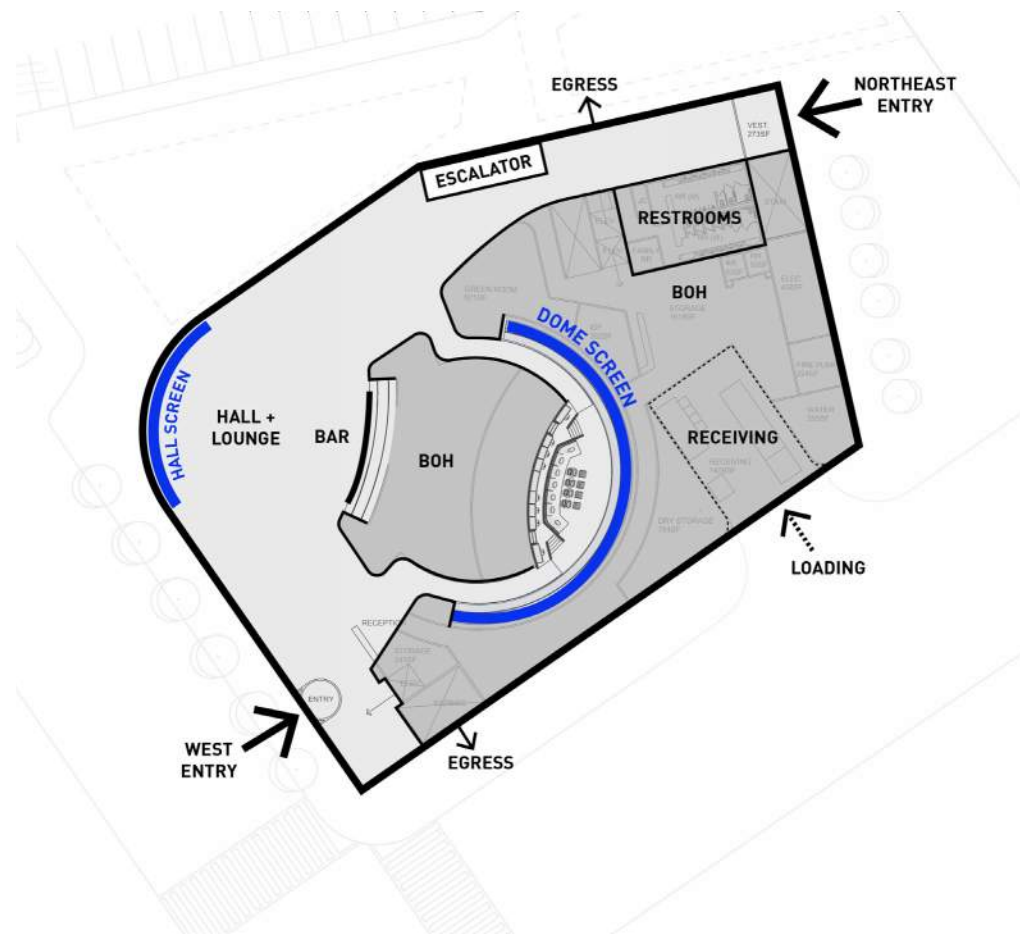


DOME AND HALL CROSS SECTION

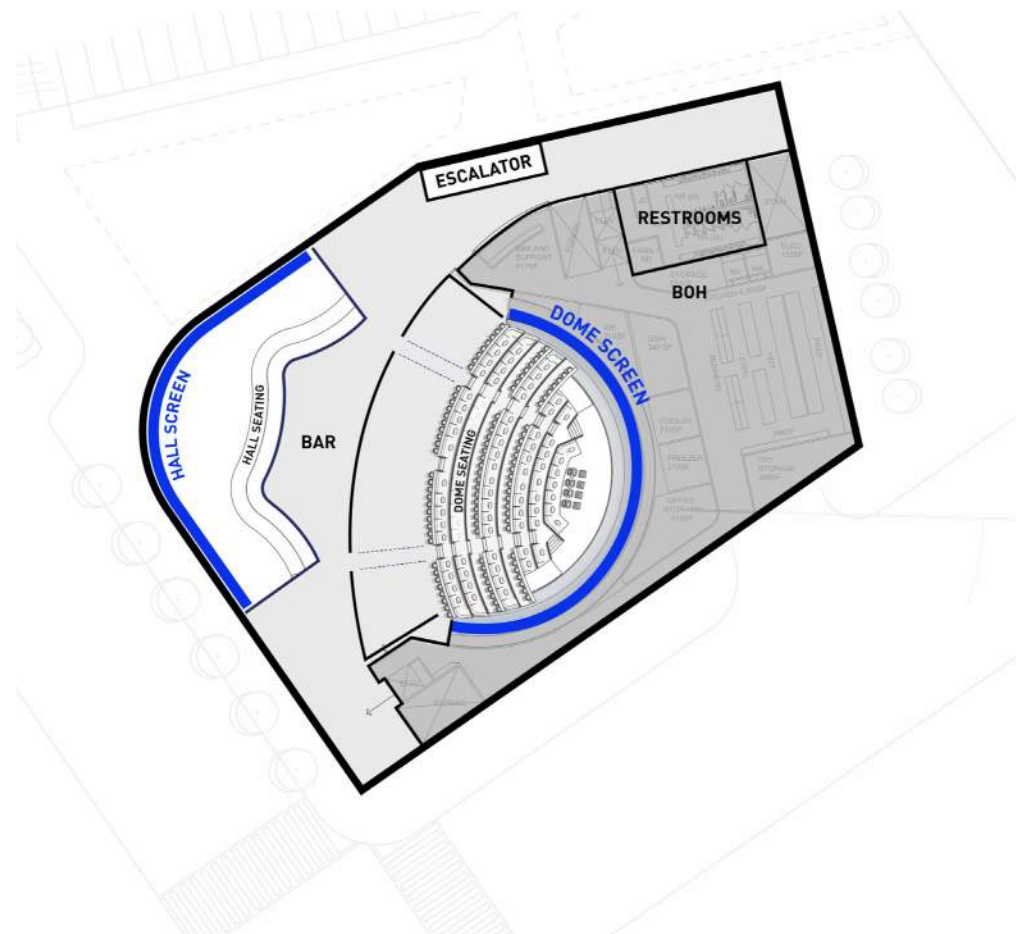


SECTION TOWARD DOME

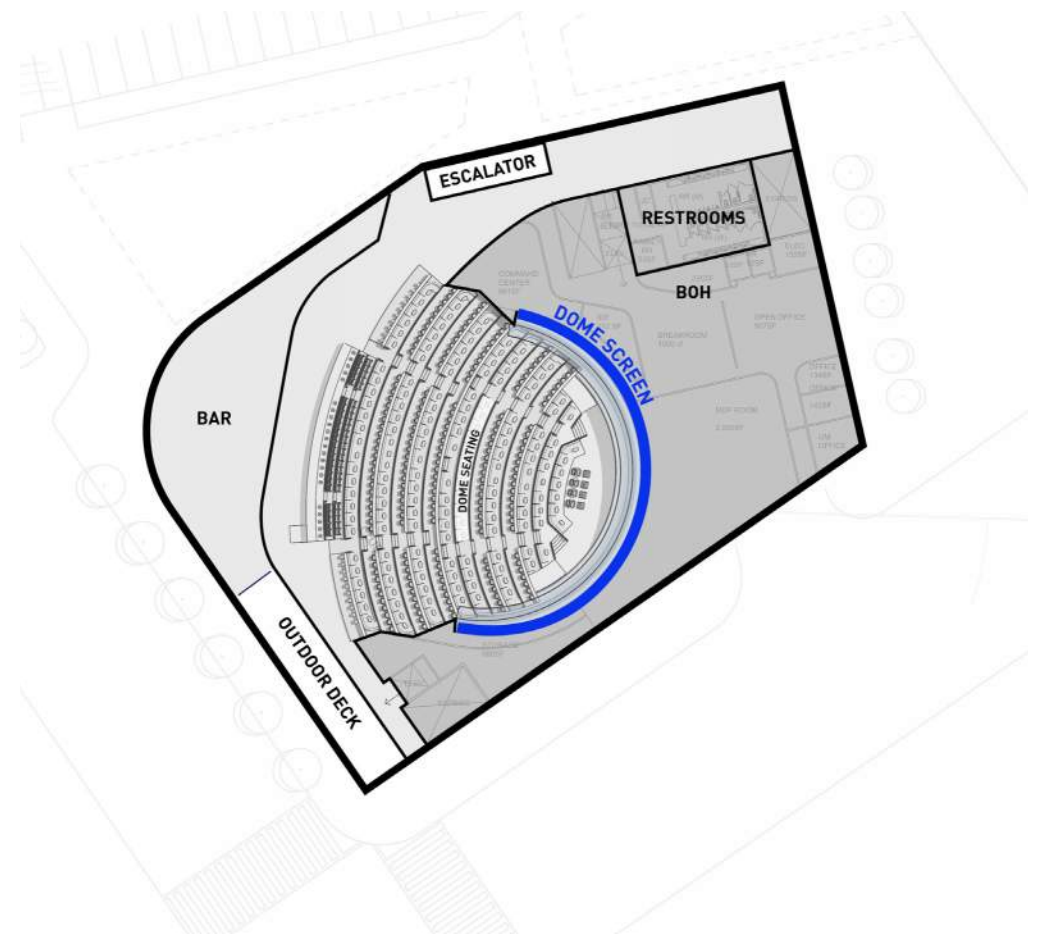
07 FLOOR PLANS



LEVEL 01

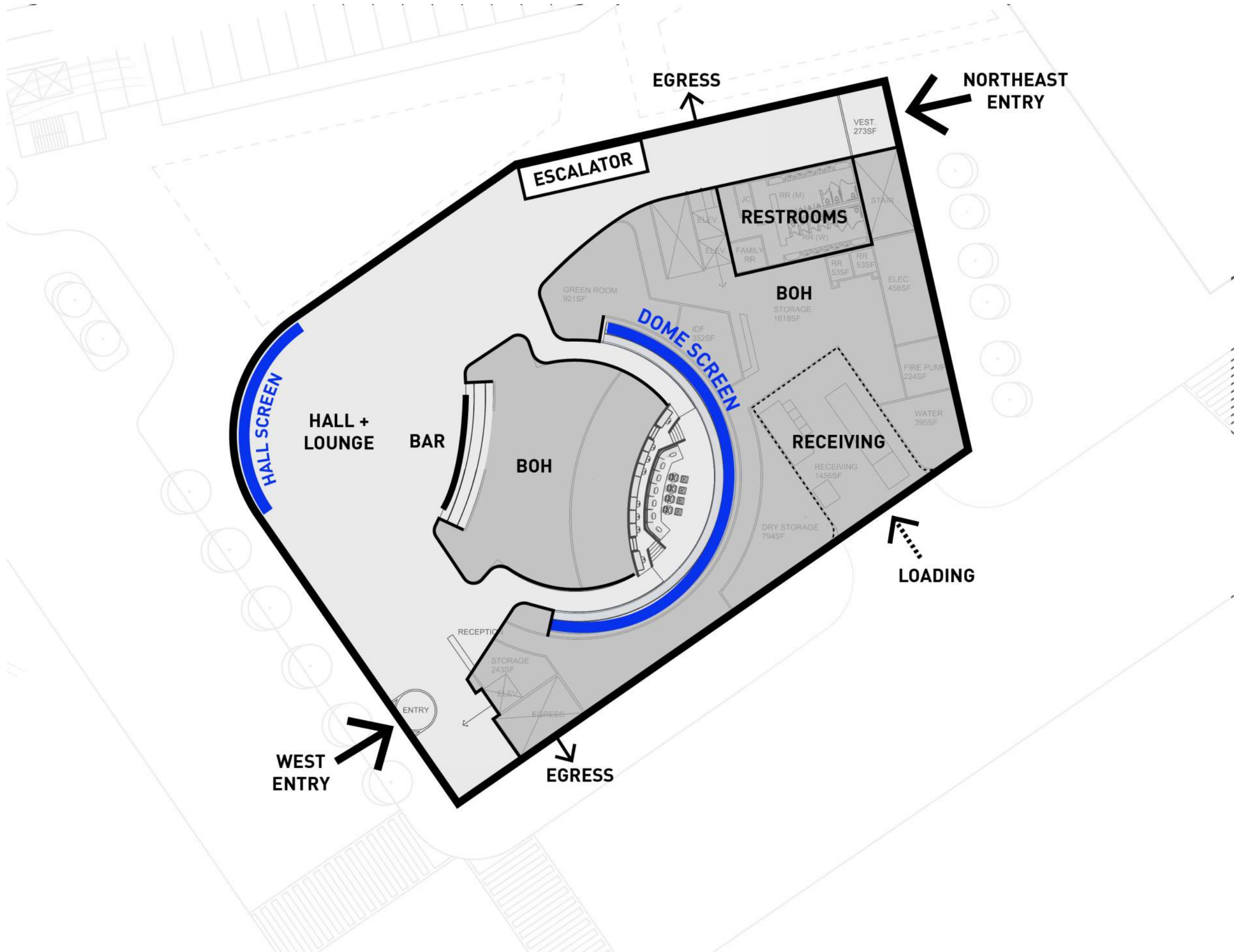


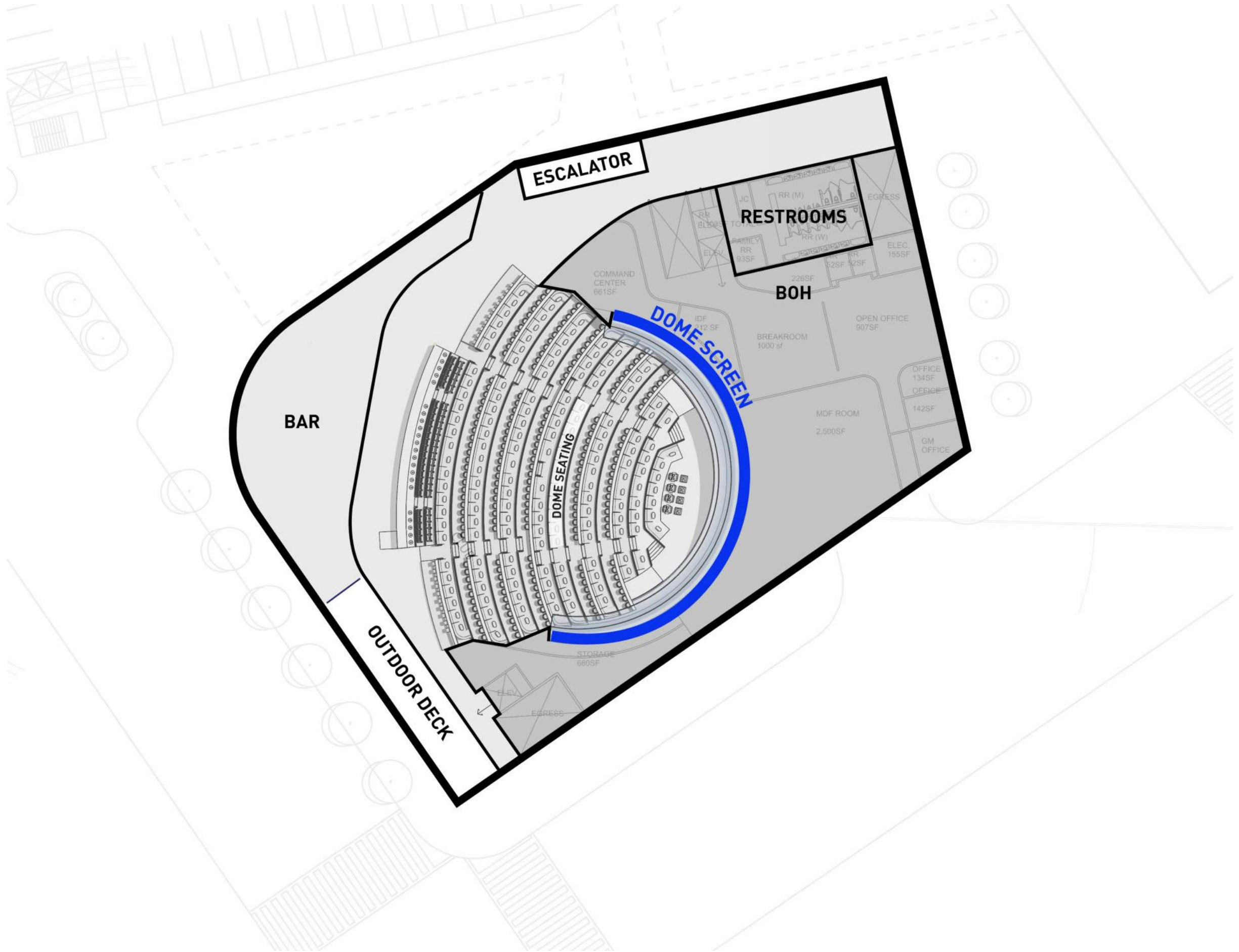
LEVEL 02



LEVEL 03





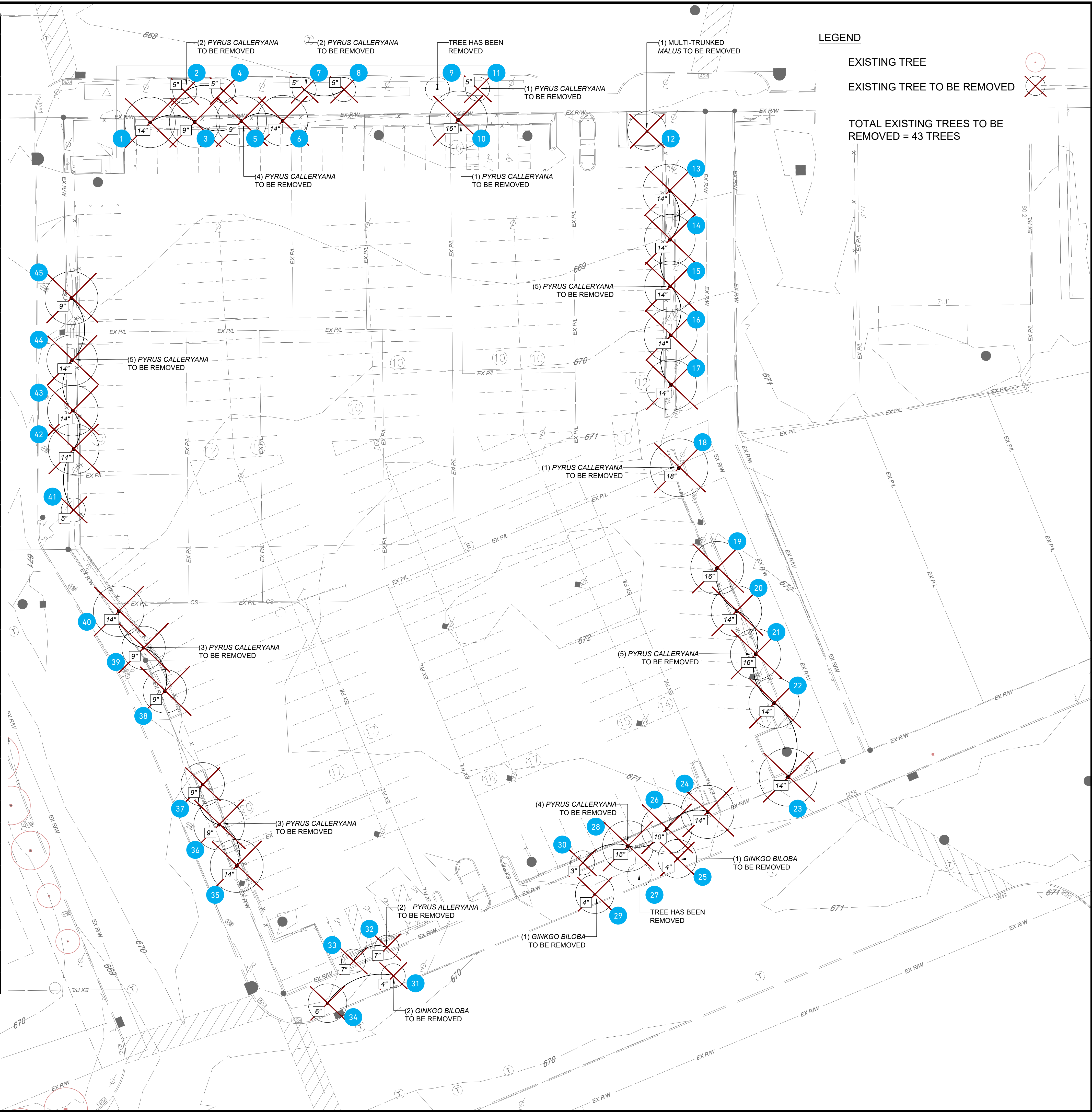


08 TREE PRESERVATION PLAN

X:\Cleveland\Projects\2022\22031-Bedrock Huron Lands Master Plan\BIM_CAD_GIS\CAD Studies\MOU Tree Preservation Plan.dwg Jul 23, 2025 - 10:13am cneives

No.	Genus, Species, Common Name	DBH	Canopy Spread	Condition	Action
1	<i>Pyrus calleryana</i> , Common Pear Tree	14"	30' dia.	Good/Fair*	Remove & replace
2	<i>Pyrus calleryana</i> , Common Pear Tree	5"	10' dia.	Good/Fair*	Remove & replace
3	<i>Pyrus calleryana</i> , Common Pear Tree	9"	30' dia.	Good/Fair*	Remove & replace
4	<i>Pyrus calleryana</i> , Common Pear Tree	5"	10' dia.	Poor	Remove & replace
5	<i>Pyrus calleryana</i> , Common Pear Tree	9"	30' dia.	Good/Fair*	Remove & replace
6	<i>Pyrus calleryana</i> , Common Pear Tree	14"	30' dia.	Good/Fair*	Remove & replace
7	<i>Pyrus calleryana</i> , Common Pear Tree	5"	10' dia.	Poor	Remove & replace
8	<i>Pyrus calleryana</i> , Common Pear Tree	5"	10' dia.	Poor	Remove & replace
9	Tree has been removed				Remove & replace
10	<i>Pyrus calleryana</i> , Common Pear Tree	16"	30' dia.	Good/Fair*	Remove & replace
11	<i>Pyrus calleryana</i> , Common Pear Tree	5"	30' dia.	Poor	Remove & replace
12	<i>Malus</i> , Ornamental Crabapple	Multi-stem	24' dia.	Good/Fair*	Remove & replace
13	<i>Pyrus calleryana</i> , Common Pear Tree	14"	30' dia.	Good/Fair*	Remove & replace
14	<i>Pyrus calleryana</i> , Common Pear Tree	14"	30' dia.	Good/Fair*	Remove & replace
15	<i>Pyrus calleryana</i> , Common Pear Tree	14"	30' dia.	Good/Fair*	Remove & replace
16	<i>Pyrus calleryana</i> , Common Pear Tree	14"	30' dia.	Good/Fair*	Remove & replace
17	<i>Pyrus calleryana</i> , Common Pear Tree	14"	30' dia.	Good/Fair*	Remove & replace
18	<i>Pyrus calleryana</i> , Common Pear Tree	18"	34' dia.	Good/Fair*	Remove & replace
19	<i>Pyrus calleryana</i> , Common Pear Tree	16"	30' dia.	Good/Fair*	Remove & replace
20	<i>Pyrus calleryana</i> , Common Pear Tree	14"	30' dia.	Good/Fair*	Remove & replace
21	<i>Pyrus calleryana</i> , Common Pear Tree	16"	30' dia.	Good/Fair*	Remove & replace
22	<i>Pyrus calleryana</i> , Common Pear Tree	14"	24' dia.	Good/Fair*	Remove & replace
23	<i>Pyrus calleryana</i> , Common Pear Tree	14"	30' dia.	Good/Fair*	Remove & replace
24	<i>Pyrus calleryana</i> , Common Pear Tree	14"	20' dia.	Good/Fair*	Remove & replace
25	<i>Ginkgo biloba</i> , Ginkgo	4"	15' dia.	Poor	Remove & replace
26	<i>Pyrus calleryana</i> , Common Pear Tree	10"	20' dia.	Good/Fair*	Remove & replace
27	Tree has been removed				
28	<i>Pyrus calleryana</i> , Common Pear Tree	15"	20' dia.	Good/Fair*	Remove & replace
29	<i>Ginkgo biloba</i> , Ginkgo	4"	15' dia.	Poor	Remove & replace
30	<i>Pyrus calleryana</i> , Common Pear Tree	3"	20' dia.	Good/Fair*	Remove & replace
31	<i>Ginkgo biloba</i> , Ginkgo	4"	8' dia.	Poor	Remove & replace
32	<i>Pyrus calleryana</i> , Common Pear Tree	7"	8' dia.	Poor	Remove & replace
33	<i>Pyrus calleryana</i> , Common Pear Tree	7"	8' dia.	Poor	Remove & replace
34	<i>Ginkgo biloba</i> , Ginkgo	6"	8' dia.	Poor	Remove & replace
35	<i>Pyrus calleryana</i> , Common Pear Tree	14"	30' dia.	Good/Fair*	Remove & replace
36	<i>Pyrus calleryana</i> , Common Pear Tree	9"	30' dia.	Good/Fair*	Remove & replace
37	<i>Pyrus calleryana</i> , Common Pear Tree	9"	20' dia.	Good/Fair*	Remove & replace
38	<i>Pyrus calleryana</i> , Common Pear Tree	9"	30' dia.	Good/Fair*	Remove & replace
39	<i>Pyrus calleryana</i> , Common Pear Tree	9"	20' dia.	Good/Fair*	Remove & replace
40	<i>Pyrus calleryana</i> , Common Pear Tree	14"	30' dia.	Good/Fair*	Remove & replace
41	<i>Pyrus calleryana</i> , Common Pear Tree	5"	30' dia.	Poor	Remove & replace
42	<i>Pyrus calleryana</i> , Common Pear Tree	14"	30' dia.	Good/Fair*	Remove & replace
43	<i>Pyrus calleryana</i> , Common Pear Tree	14"	30' dia.	Good/Fair*	Remove & replace
44	<i>Pyrus calleryana</i> , Common Pear Tree	14"	40' dia.	Good/Fair*	Remove & replace
45	<i>Pyrus calleryana</i> , Common Pear Tree	9"	20' dia.	Good/Fair*	Remove & replace

* Condition of tree is generally good with respect to vigor, but the specimen displays significant branch splaying and poor branching structure conducive to limb break risk/liability. Significant branch dieback or stress observed near the crown of the tree. Trees are at or past typical mature prime for this species. Condition as observed per field visit 6/25/2023.



CHECK SET
Not For Construction

revision	date	issued
△		
△		
△		
△		
△		
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△		
△		

seal

STATE OF OHIO
JEFFREY J. PONSIS
REGISTERED
LANDSCAPE ARCHITECT

issue date
07.22.2025

project number
c22031



LEGEND

EXISTING TREES

TREES ADDED IN CONCEPT PLAN

TOTAL TREES TO BE ADDED = 43 TREES

MKSK

Landscape Architecture
Urban Design
Planning

2019 CENTER STREET
CLEVELAND, OH 44113
216.423.6150 MKSKSTUDIOS.COM

client / owner
Bedrock

project name
Rock Block Development:
Cosm Cleveland

project address
East 4th Street +
Huron Road

CHECK SET

Not For Construction

revision	date	issued
△		
△		
△		
△		
△		
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△		
△		

seal

STATE OF OHIO

JEFFREY L. PANGRIS

REGISTERED LANDSCAPE ARCHITECT

issue date
07.22.2025

project number
c22031

sheet name
CONCEPTUAL TREE
PLANTING PLAN

sheet number
TP-2

CHEERS

ROSSETTI

Cleveland City Planning Commission

Staff Report



CITY OF CLEVELAND
Mayor Justin M. Bibb

August 1, 2025



CITY OF CLEVELAND
Mayor Justin M. Bibb

Cleveland City Planning Commission

Bedrock – Rock Block Cosm Development

Staff Report

August 1, 2025



- **Staff Recommended Conditions – Cosm Development:**
 - Loading & service dock placement to be thoroughly reviewed and thoughtfully located. Special attention to be paid to complementing Rocket Arena, impacts on ‘One-way Pair’ bike facilities, and E.4th & E. 6th pedestrian environments.
 - PUDO to be located within ROW space and not cross over or impact sidewalk / pedestrian zones
 - Facades to be active-uses & engaging at the street-level

Cosm – Service & Loading Dock + PUDO Location

Rocket Arena
Adjacency

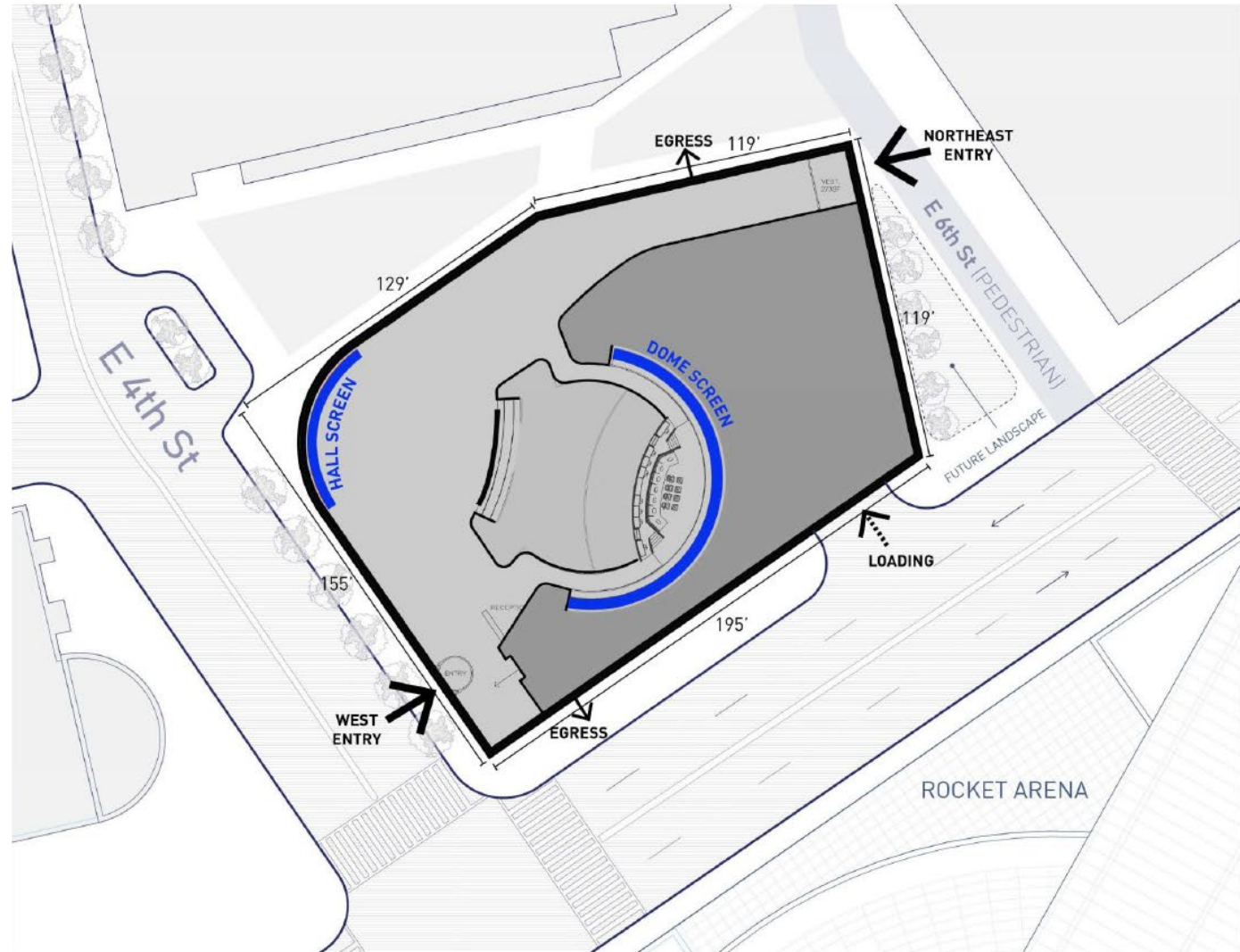
+

City can provide
PUDO within
existing ROW

BUILDING FOOTPRINT
APPROX. 33,000 SF



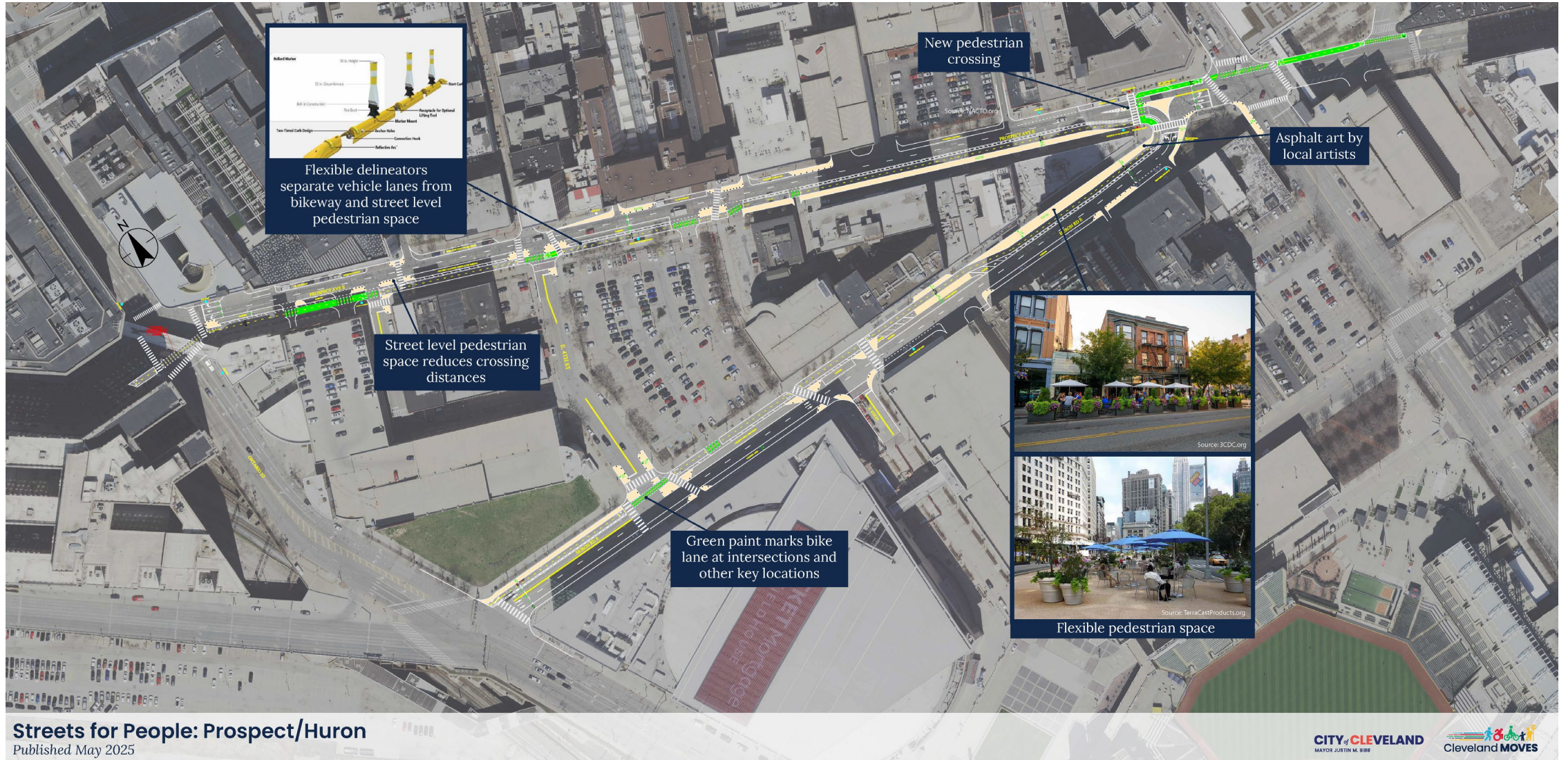
CONCEPTUAL SITE PLAN



COSM CLEVELAND CONCEPT APPROVAL PACKAGE | JULY 10, 2025 © ROSSETTI 17



Streets for People: Huron/Prospect One-way Pairs





HURON & PROSPECT ONE-WAY PAIRS | CLEVELAND, OHIO
PERSPECTIVE RENDERING



Streets for People: Huron/Prospect One-way Pairs

Cosm & Rock Block
sites interface with
bike lanes and addl.
pedestrian space



Streets for People: Huron/Prospect One-way Pairs

16-26' of additional
pedestrian or
non-vehicular space



Streets for People: Huron/Prospect One-way Pairs

16-26' of additional
pedestrian or
non-vehicular space



Streets for People: E.4th Potential Extension to Arena



Streets for People: E.4th Potential Extension to Arena



Contemporary Pedestrian Plazas – Accommodating Loading & Service

Columbus: Blue Jackets Arena



Cosm Facades: Dallas

Lively vs Utility

Quantities and
locations of
fenestration



Cosm Facades: Los Angeles

Lively vs Utility

Quantities and
locations of
fenestration



Cosm Facades: Los Angeles

Lively vs Utility

Quantities and
locations of
fenestration



Cosm Facades: Detroit Conceptual Designs

Integrated into
urban fabric



Cosm Facades: Detroit Conceptual Designs

Street presence
& activation

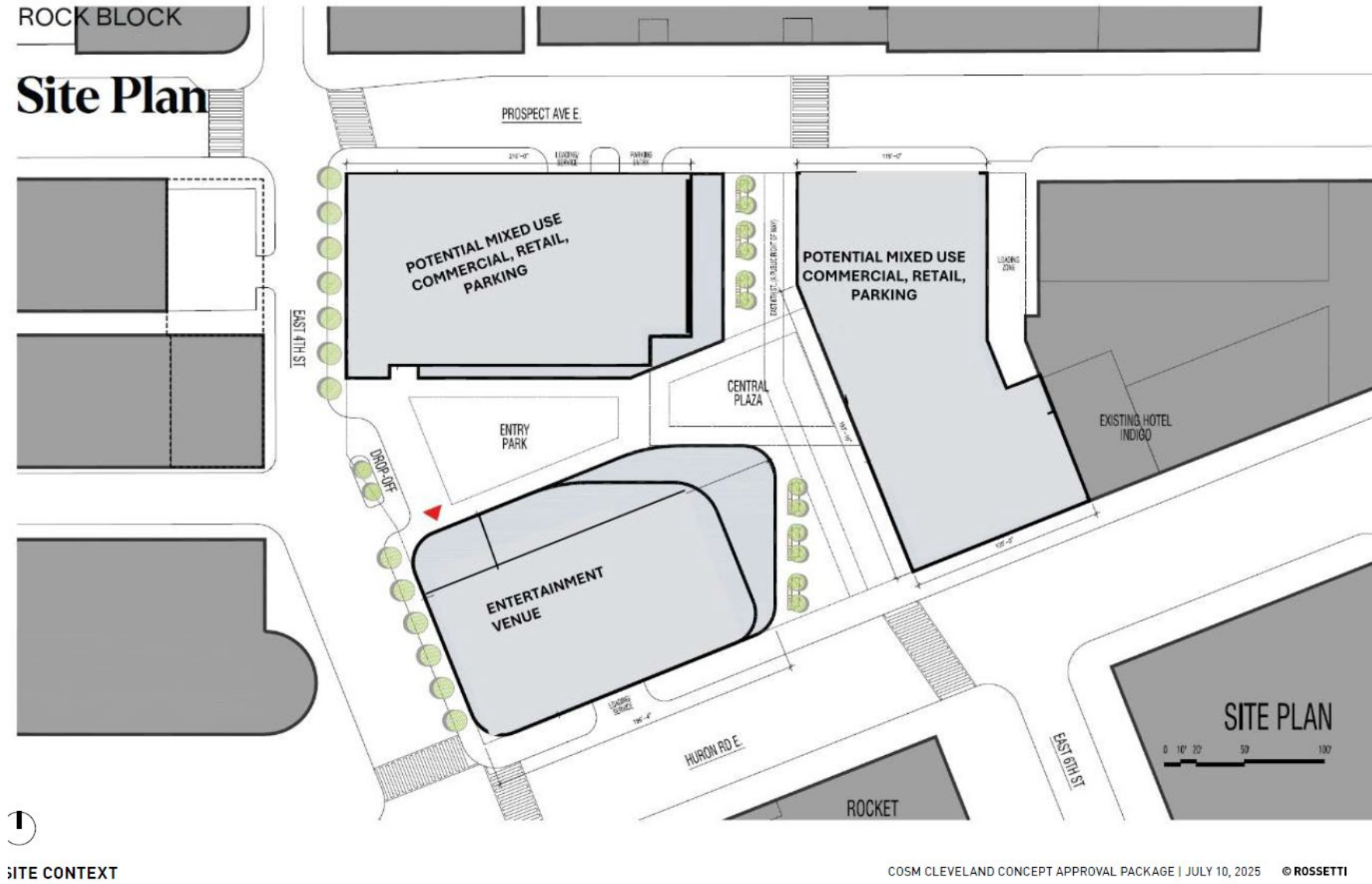


- **Downtown/Flats Design Review Committee Motion:**
 - Exterior spaces & plaza to be integrated with public realm across Cosm & wider Rock Block site, with meaningful viewsheds, focal points, and alignments to key District features
 - Include interim conditions of ‘Future Development’ sites
 - Incorporate Staff recommended conditions

D/F DR Conditions:

Site Design,
Plaza Integration,
Alignments

Interim Conditions of
Future Development



- **Staff Recommended Conditions – Cosm Development:**
 - Loading & service dock placement to be thoroughly reviewed and thoughtfully located. Special attention to be paid to complementing Rocket Arena, impacts on ‘One-way Pair’ bike facilities, and E.4th & E. 6th pedestrian environments.
 - PUDO to be located within ROW space and not cross over or impact sidewalk / pedestrian zones
 - Facades to be active-uses & engaging at the street-level



CITY OF CLEVELAND
Mayor Justin M. Bibb

Cleveland City Planning Commission

Bedrock – Rock Block Temporary Construction Storage

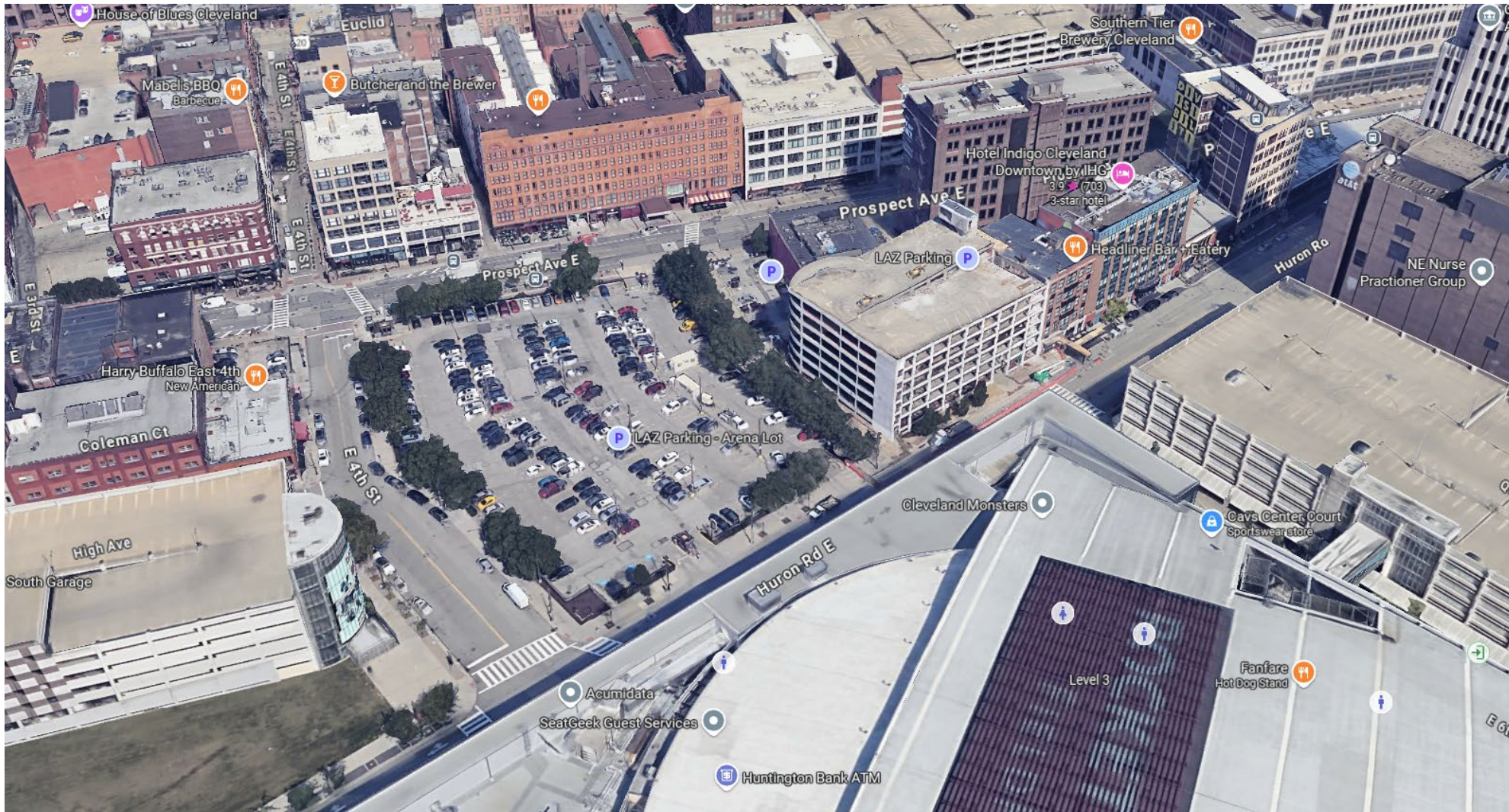
Staff Report

August 1, 2025



- **Procedural Action – Former Parking Deck parcels:**
 - Motion for approval of temporary construction storage as main use on parcels 10129010, 10129011, & 10129012 (former parking deck & current sunsetting surface lot location)
 - New sunset date to be established between Staff & Applicant based on Cosm construction timeline, and to include accompanying new development plans

Former Parking Deck – Demolished in 2023



Former Parking Deck – Demolished in 2023



Current Temporary Surface Lot – Proposed Temporary Construction Storage



Current Temporary Surface Lot – Proposed Temporary Construction Storage



Current Temporary Surface Lot – Proposed Temporary Construction Storage



- **Code Language for reference:**

§ 349.14 Surface Parking Lots in Designated Downtown Area Districts

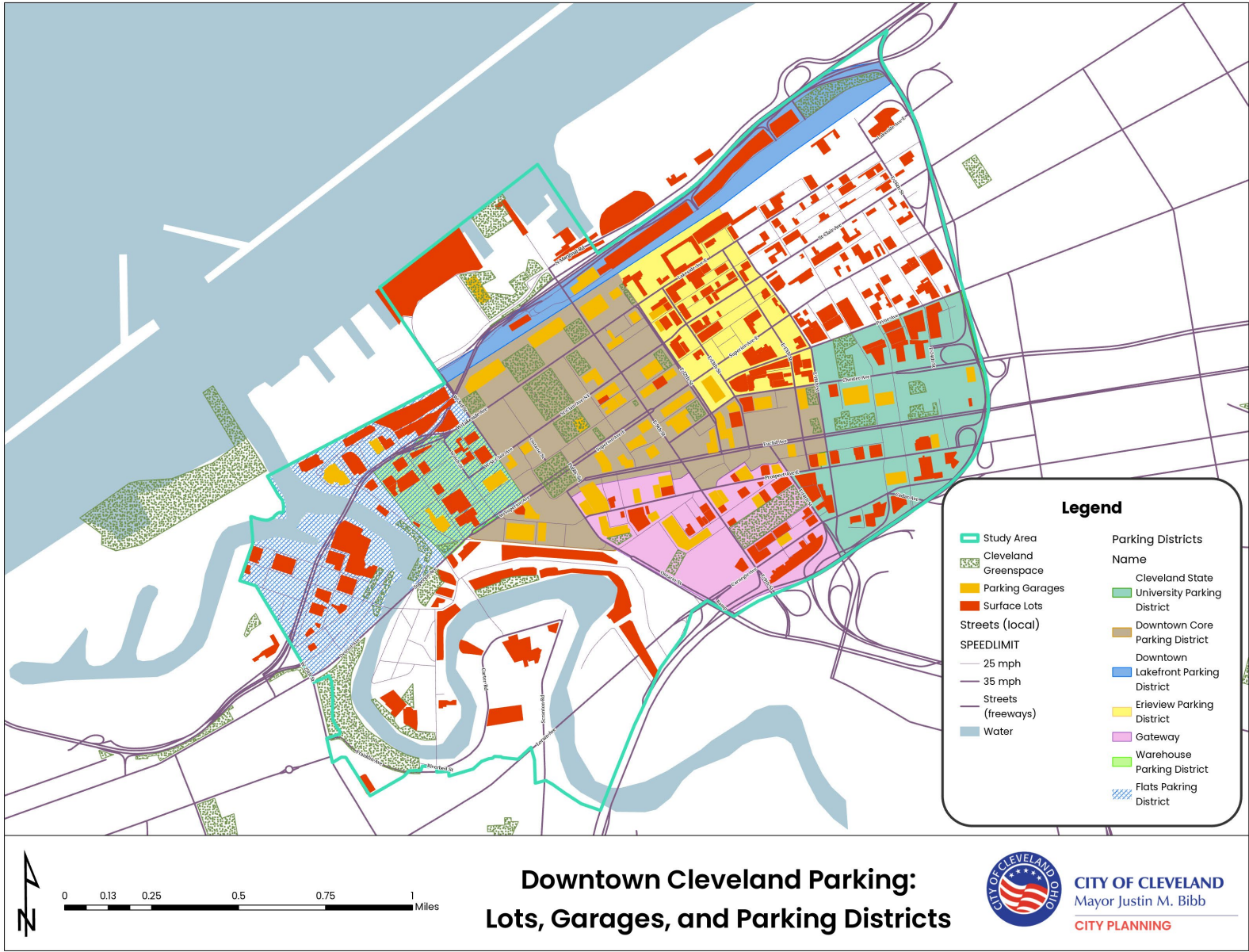
- “(d) Prohibition. Notwithstanding other provisions of the Zoning Code, no surface parking lot shall be established or expanded within the designated districts except as approved by the City Planning Commission in accordance with this section. [Located in “Gateway Designated District”]
- (e) Planning Commission Determination. The City Planning Commission shall approve building permit applications for the establishment or expansion of surface parking lots in the designated districts **only** in accordance with the following provisions:

(1) Temporary Parking Lots. If the City Planning Commission or Landmarks Commission, as applicable, has approved demolition of a building within the designated district(s) and has approved, in accordance with the regulations of Sections 341.04 and 341.05 or Section 161.05, as applicable, plans for a new building or other non-parking use to replace such building, the subject property may be used as a surface parking lot for a maximum period of one (1) year following the demolition of the building. If all necessary redevelopment permits have not been obtained within one (1) year of the commencement of surface parking use, the property shall be landscaped as open space or shall be converted to another appropriate non-parking use in accordance with a site plan approved by the Commission.

The Commission may, however, approve a request by the owner to extend use of the parking lot for a single period not greater than one (1) year in duration if the Commission determines that the owner has made a “good faith effort” to secure the approved redevelopment. During the time period of such extension, the Commission and the owner shall undertake discussions regarding efforts to facilitate appropriate redevelopment of the property. At the conclusion of the extension period, the property either shall be landscaped as open space or shall be converted to another appropriate non-parking use in accordance with a site plan approved by the Commission or, alternatively, the owner may seek a variance from the Board of Zoning Appeals in accordance with the provisions of division (h) of this section.”

Surface Parking Prohibition in Designated Downtown Districts

Downtown Core
Gateway
Erievue
CSU
Warehouse
Flats



- **Downtown/Flats Design Review Committee Motion:**
 - Recommend to maintain surface lot as construction worker parking in addition to construction storage and,
 - Re-evaluate on 1-year basis if still needed for construction (and set further timeline as needed)

- **Procedural Action – Former Parking Deck parcels:**
 - Motion for approval of temporary construction storage as main use on parcels 10129010, 10129011, & 10129012 (former parking deck & current sunsetting surface lot location)
 - New sunset date to be established between Staff & Applicant based on Cosm construction timeline, and to include accompanying new development plans

Cleveland City Planning Commission

Special Presentations – Public Art



CITY OF CLEVELAND
Mayor Justin M. Bibb

August 1, 2025

NW2025-014 – The Love of Reading

August 1, 2025

Project Address: 2000 Clark Avenue

Type: Public Art – Mural

Project Representative: Luis Rivas, MWCDC

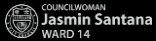
Approval: Final

Ward 14: Council Member Santana |

SPA: Tremont |

CDC: Tremont West Dev. Corp.

Support from:



THE ART GARDEN

art trail beauty to uplift the
human spirit

GROUP

KAIA BRAIN

Art Garden: Cultivating Sustainable Art for Cleveland

Public Art (Mural): 2000 Clark Ave Cleveland OH 44109

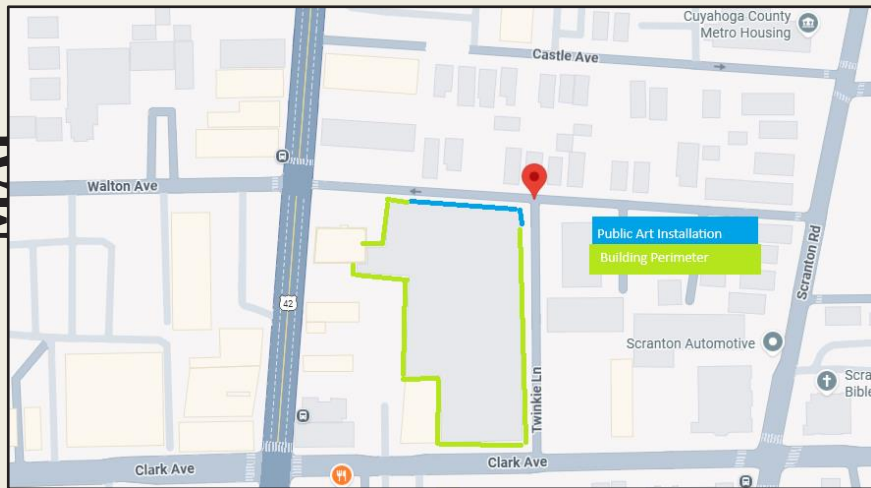
BlackBrain Group's Art Garden is a transformative public art initiative supported by Mayor Bibb's Transformative Arts Fund (TAF) in partnership with Metrowest CDC. This project aims to extend its impact through murals and sculptures across the city. Focused on growth, real-world experience, and community.

The murals serve as visual narratives, blending ancient and modern symbols (Cleveland's industrial scene, migration stories, and more) to reflect the city's diverse culture, history, and social evolution.

By investing in these murals, we aim to bring beautification of neighborhoods through art, and enhances neighborhood identity. This initiative aligns with the city's vision for equitable, community-driven urban revitalization.

Support from:



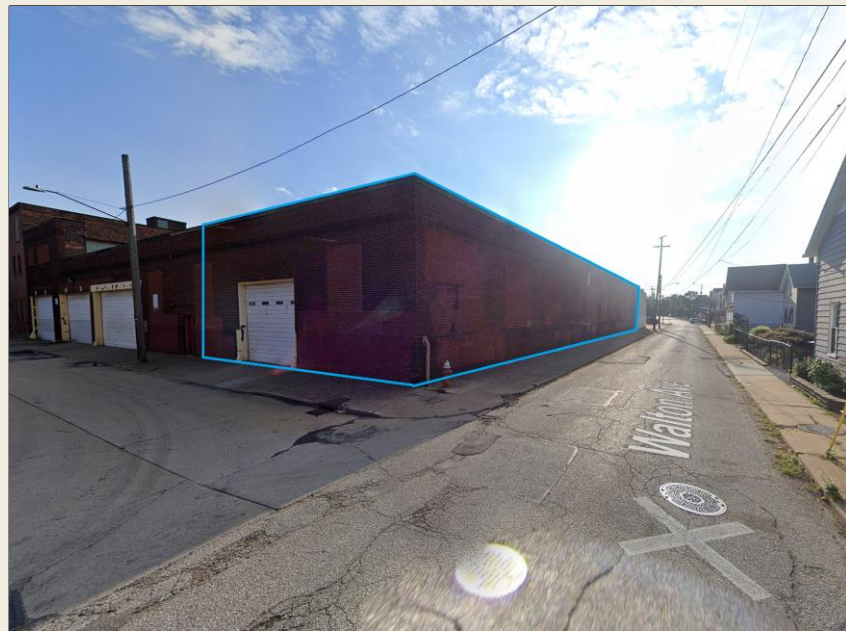


Neighborhood Context

West 25th Street is filled with vibrant art that adds to the neighborhood's recent history. This piece represents yet another contribution of the neighborhood and its rich history.

Taking place on Twinkle Lane and Walton, the art is set to take place on the building of one of the largest online book collections in the region.

This mural aims to give tribute to literature and the history of the building and business.



Address:

2000 CLARK AVE, CLEVELAND, OH, 44109

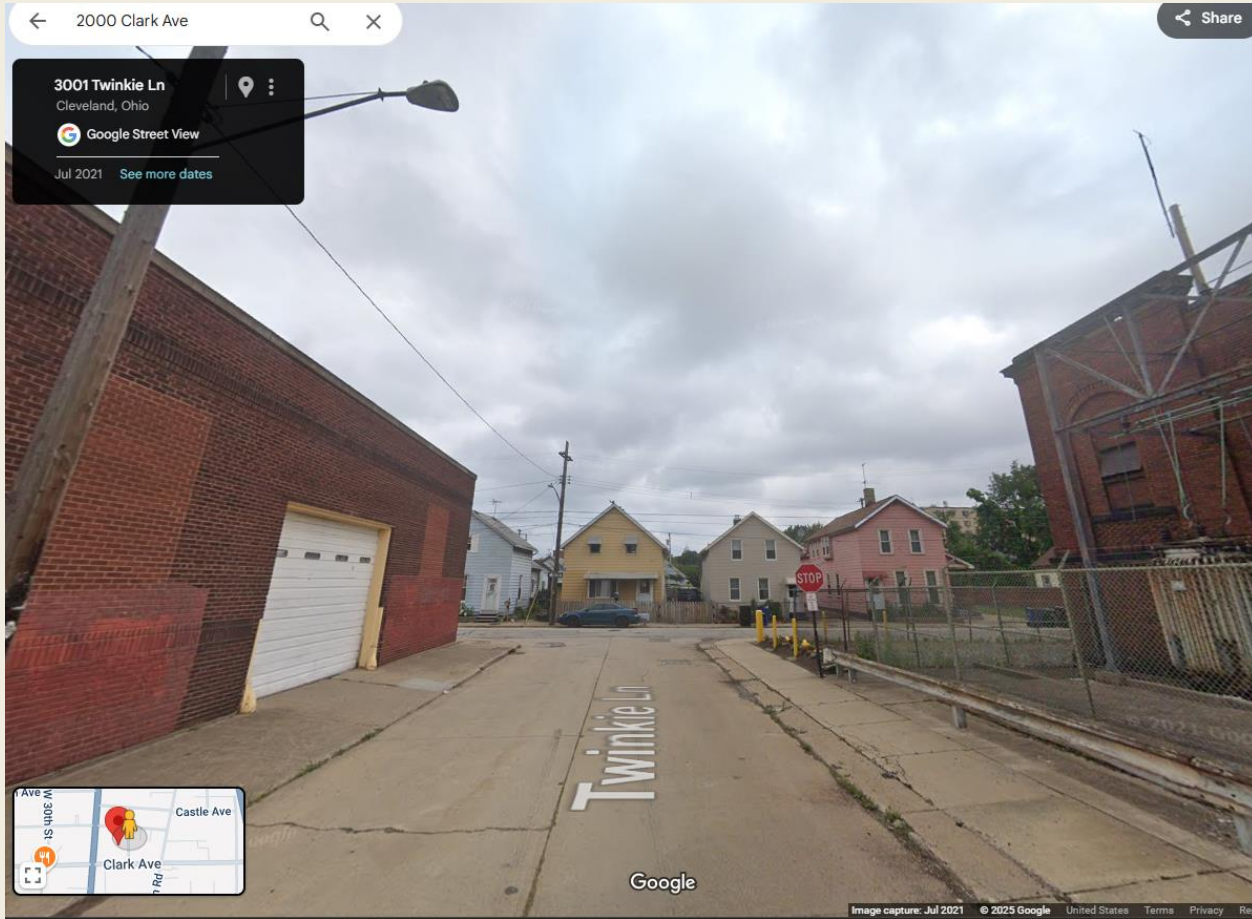
CONTEXT (Twinkie Lane)



Address:

2000 CLARK AVE, CLEVELAND, OH, 44109

CONTEXT (Twinkie Lane)



Address:

2000 CLARK AVE, CLEVELAND, OH, 44109

CONTEXT Twinkie Lane and Walton Intersection



Address:

2000 CLARK AVE, CLEVELAND, OH, 44109

CONTEXT (Walton Ave)



Address:

2000 CLARK AVE, CLEVELAND, OH, 44109

CONTEXT (Walton Ave)



Address:

2000 CLARK AVE, CLEVELAND, OH, 44109

CONTEXT (Walton Ave)



Address:

2000 CLARK AVE, CLEVELAND, OH, 44109

CONTEXT (Walton Ave)



Address:

2000 CLARK AVE, CLEVELAND, OH, 44109

CONTEXT (Walton Ave)



Address:

2000 CLARK AVE, CLEVELAND, OH, 44109

Address:

2000 CLARK AVE,
CLEVELAND, OH, 44109





Each letter is a representation of a popular book novel. The art was created to give a creative twist to the book titles and convert them to letters

Address:
2000 CLARK AVE,
CLEVELAND, OH, 44109

CONTEXT Twinkie Lane and Walton Intersection



Address:

2000 CLARK AVE, CLEVELAND, OH, 44109

Cleveland City Planning Commission

Staff Report



CITY OF CLEVELAND
Mayor Justin M. Bibb

August 1, 2025

NW2025-014 – The Love of Reading

August 1, 2025

NWDRAC recommended final approval (with no conditions) on 7/23/25.

TAF 9413 Sophia Avenue Project

August 1, 2025

Project Address: 9413 Sophia Ave

Type: Public Art

Project Representative: Malena Grigoli, Lead Artist

Approval: Final

Ward 4: Council Member Grey

SPA: Buckeye-Woodhill

CDC: Burten, Bell, Carr Dev. Corp.

9413 Sophia Ave Project

Planning Commission: Design Review Application

Written Project Summary

9413 Sophia Ave is an address and a durational performance. The project operates as a case study which choreographically deconstructs and biocycles* a home condemned by the Cuyahoga County Land Bank, exhibiting maintenance of the built environment as art and resulting materially in a participatorily designed installation for future use. The proposed installation will exist onsite for one year, and will then decompose into the earth.

The project is funded by the City of Cleveland and Cleveland City Council's Transformative Arts Fund. The total investment in this project is \$364,000, which has been budgeted to cover every aspect, from deconstruction to installation and ongoing maintenance of the land.

Ongoing maintenance will be provided by My Grow Connect, a partner of the project.

Street parking is available on the streets surrounding the proposed project.

*Biocycling refers to a process in which demolition waste is chipped up, sterilized, and used as substrate to inoculate with mycelium. The mycelium remediates lead and other heavy metals present in the waste material, and binds the substrate to create a new, buildable material.



The home that once stood at 9413 Sophia Ave was built around 1910. In 2024, when I began this project, the home had been forfeited and condemned, and was in the inventory of the Cuyahoga Land Bank.

I worked with a crew from C&J Contractors to deconstruct the home in a choreographed manner - this involved deep discussion and intervention on the physical, collaborative work between the crew and their machine. On the pragmatic side, it also allowed us to carefully sort the materials.



Workshops and Participatory Design

Community engagement and participation in design efforts is critical in my effort to realize an installation onsite. The 9413 Sophia Ave project team hosted 11 workshops, 12 monthly onsite gatherings, and a community design session, in addition to other efforts to connect with neighbors.



Support



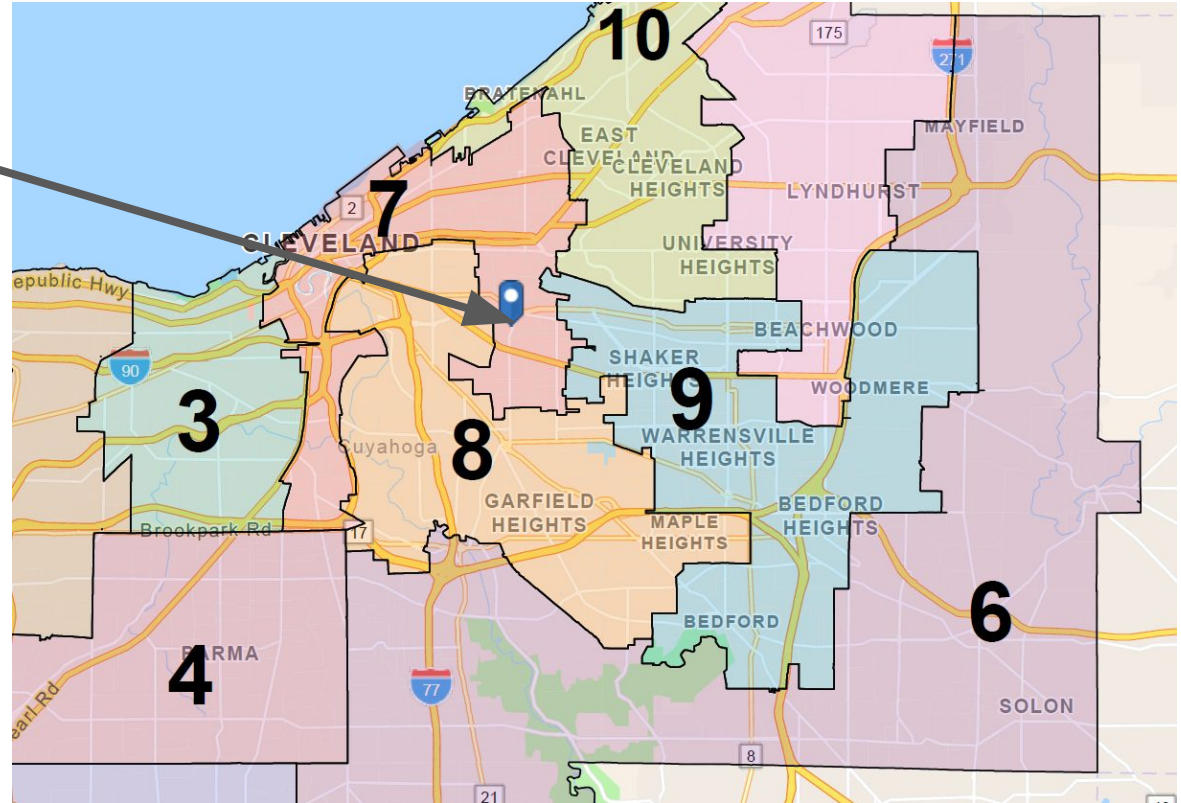
Councilwoman Gray, of Ward 4, pictured above, has been a supporter of our programming through the year.

CITY OF CLEVELAND
TRANSFORMATIVEArtsFund
2024

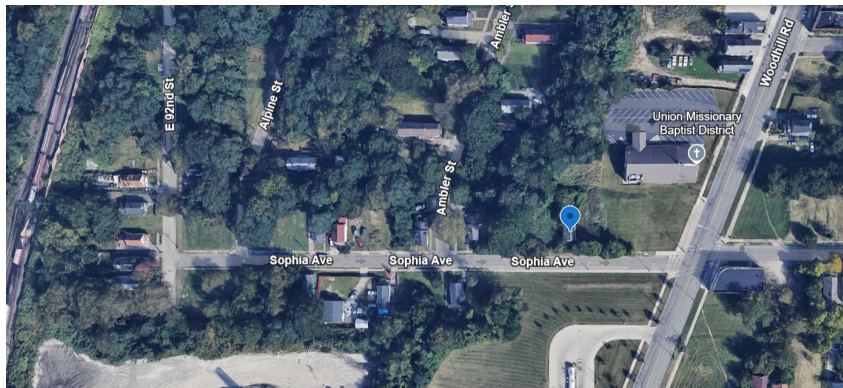


Site Location Map

The project site is located in District 7, and in Ward 4.



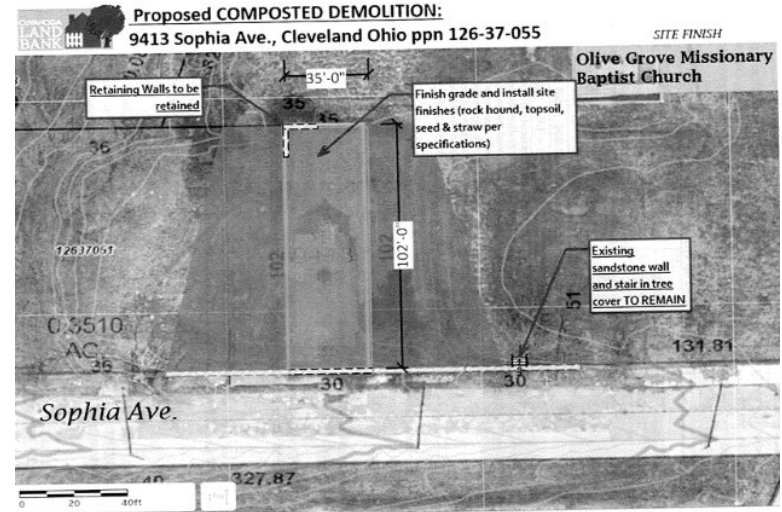
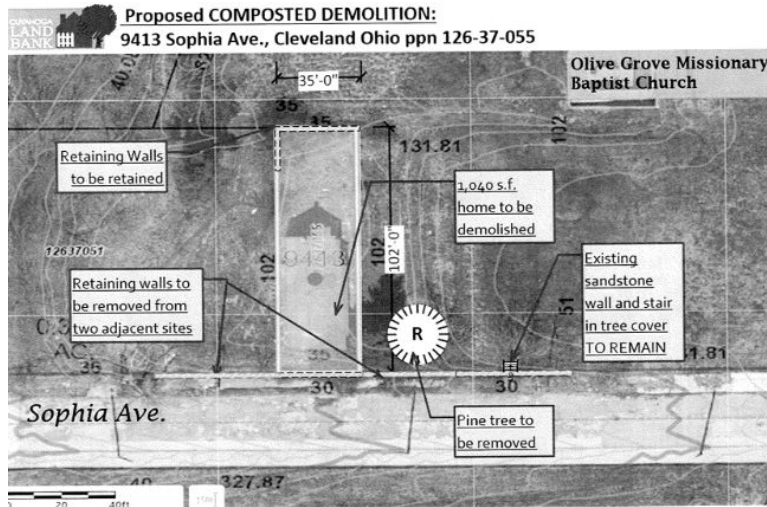
Site Context



Existing Conditions Plan

The work proposed in these documents was completed in 2024.

In July 2025, the site is graded and hosts two shipping containers, which hold the material and equipment being used to biocycle the former house. Both shipping containers will be moved offsite by the time the installation is complete.



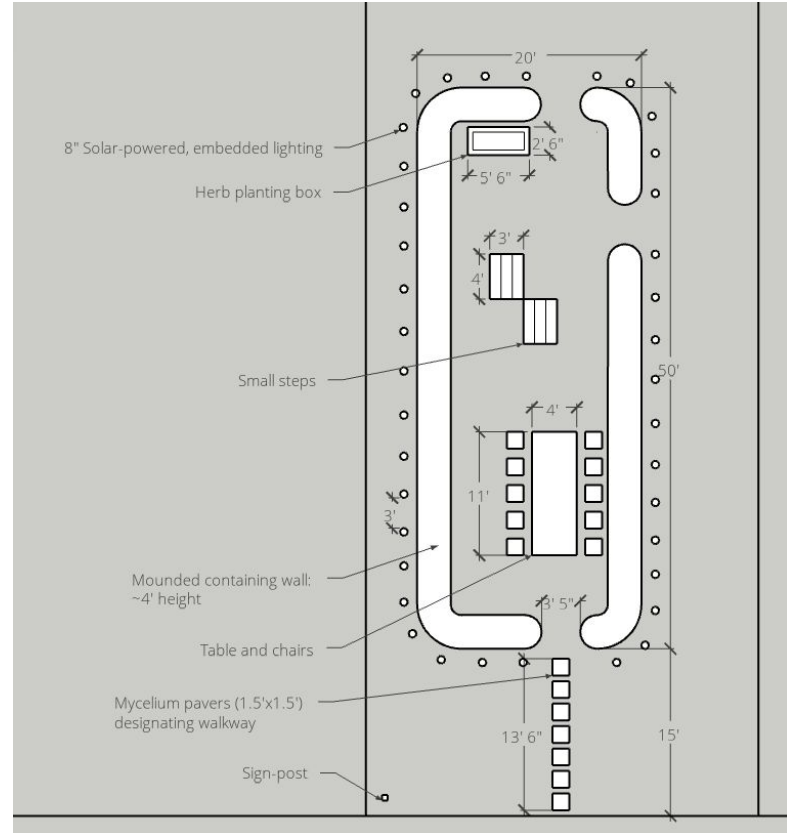
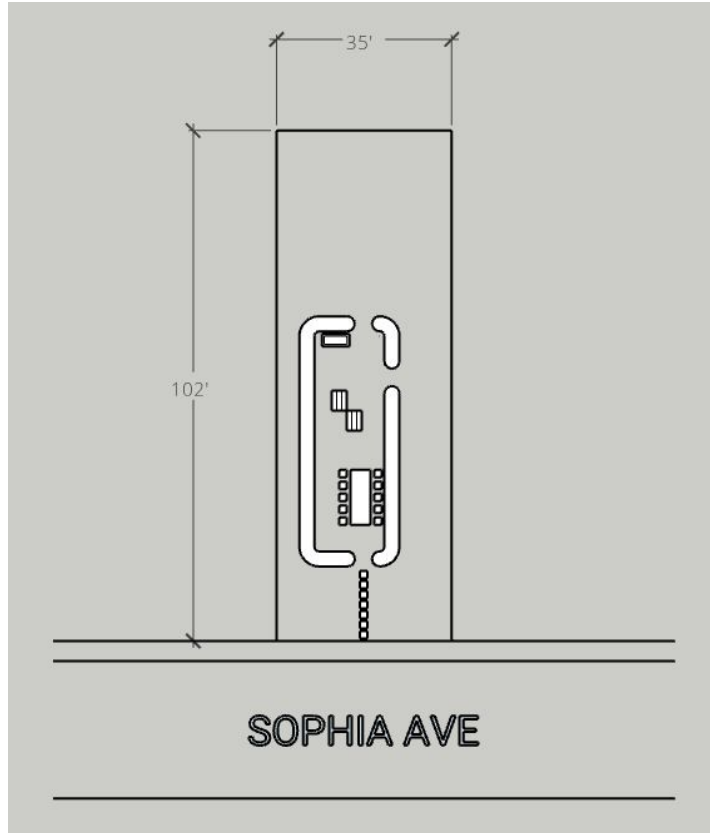
Material Samples

Mycelium bricks and topographically sculpted mycelium-inoculated substrate will make up the installation.

Any land which would benefit from being seeded / planted, will be done so with native plants.

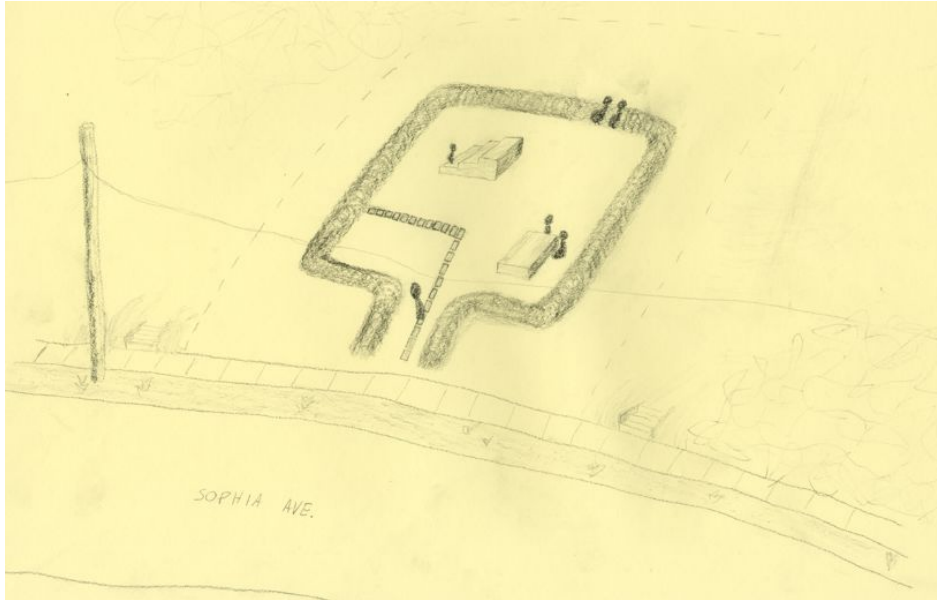


Plan Drawing



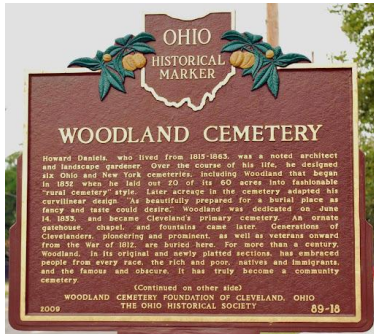
Rendering

All of the site features of the installation proposed - with the exception of lighting - will be made of mycelium bricks or forms sculpted using the same material.



Signage and Lighting Plan

The proposed plan for **signage** involves replicating, using compressed mycelium mounted on a post, the existing design of signs which designate historic sites in Ohio, with the intent of describing the history of the house that was once onsite as well as the project which led to the current artistic landscape.



The proposed plan for **lighting** includes solar-powered lights, embedded in the landscaping, which gently illuminate the site when the sun goes down, as well as existing street lights.



Thank you!

Cleveland City Planning Commission

Mandatory Referrals



CITY OF CLEVELAND
Mayor Justin M. Bibb

August 1, 2025

Ord. No. 803–2025 (introduced by Council Members McCormack, Bishop, and Griffin – by departmental request) Authorizing the Directors of Parks and Recreation and Port Control to enter into an amendment to the existing Lease Agreement with the Board of Park Commissioners for the Cleveland Metropolitan Park District for Rivergate Park to add additional City-owned property to the leased premises.

August 1, 2025

Cleveland City Planning Commission

Real Estate Legislation
August 1, 2025



Ord. No. 803-2025

Amendment of lease to add land for trail connection and related improvements
(101-16-005, 101-16-006, 101-16-007)

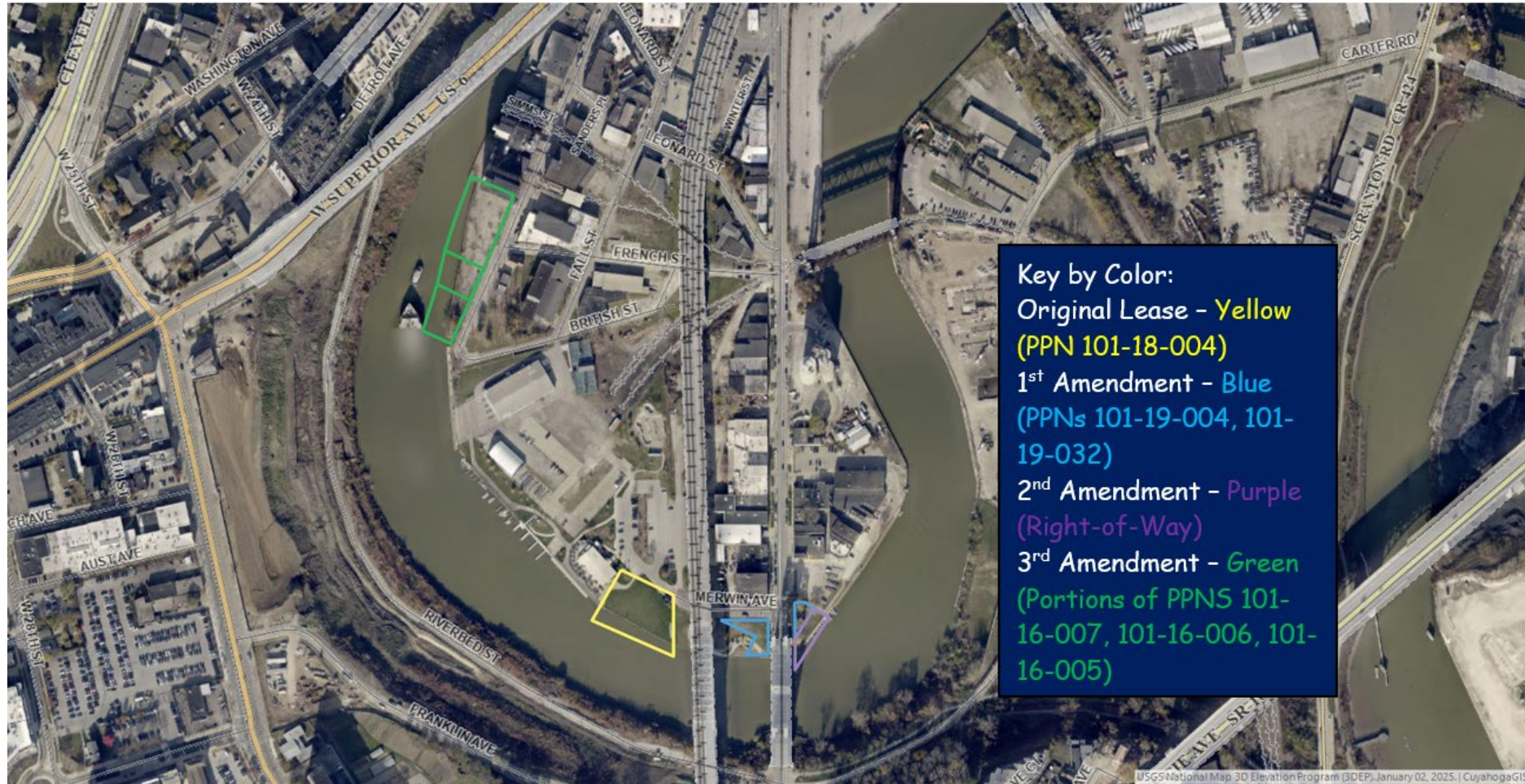
Legislative Purpose

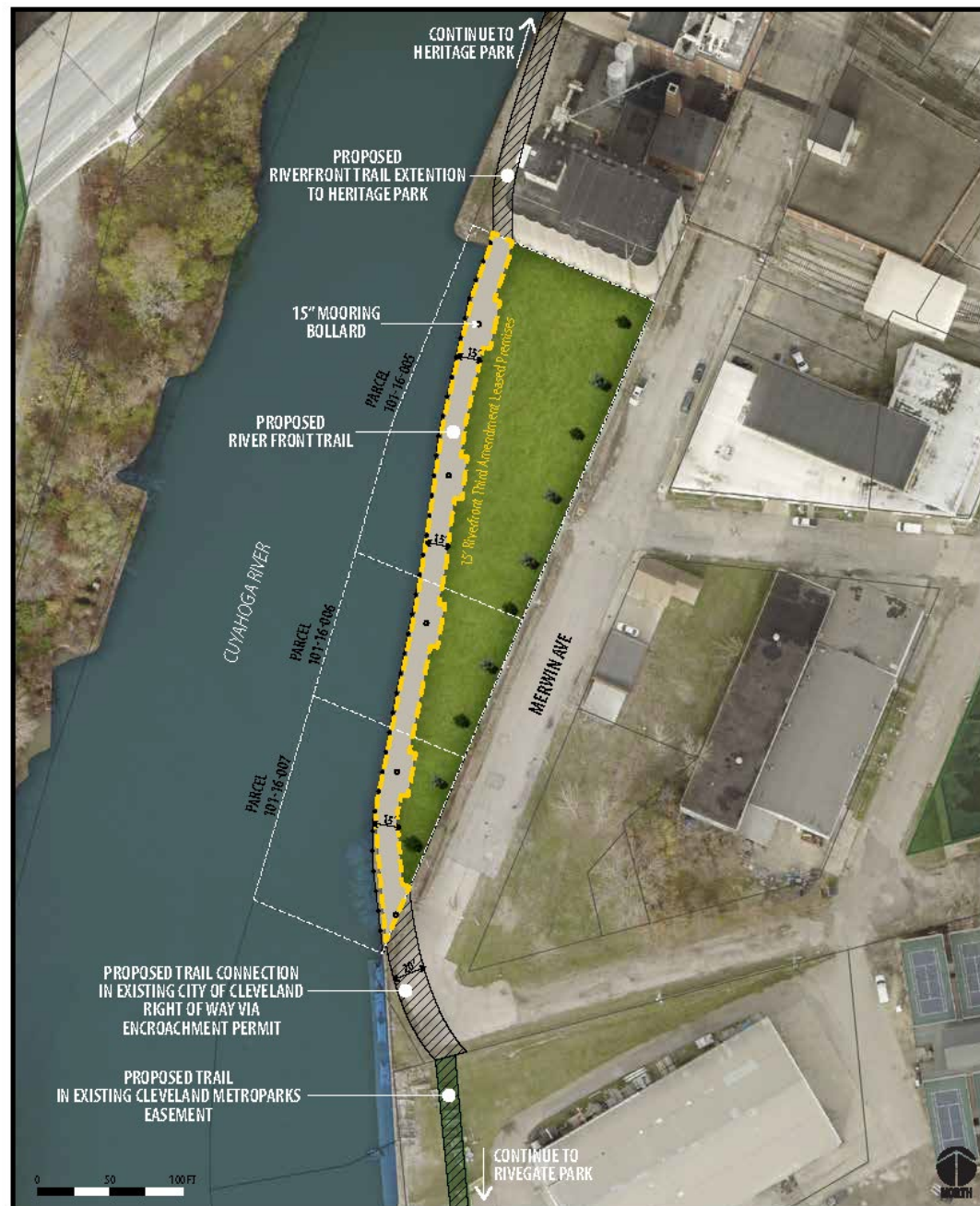
Authorizing the Directors of the Department of Parks & Recreation and Port Control to enter into an amendment to the existing Lease Agreement with the Board of Park Commissioners for the Cleveland Metropolitan Park District for Rivergate Park to add additional City-owned property to the leased premises.



Ord. No. 803-2025
Amendment of lease to add land for trail connection and related improvements
(101-16-005, 101-16-006, 101-16-007)

Location Map





COLUMBUS PENINSULA RIVERFRONT TRAIL CONCEPT

CITY OF CLEVELAND PARCELS 101-16-005, 101-16-006 & 101-16-007

MARCH 2025



Ord. No. 803-2025
Amendment of lease to add land for trail connection and related improvements
(101-16-005, 101-16-006, 101-16-007)

Project Summary

- In 2014, the City entered into a 99-year lease (“Lease”) with Metroparks pursuant to Ord. No. 1233-13 for City-owned property along Cuyahoga River for Rivergate Park.
- The Lease was amended twice to add additional land and trail connections pursuant to Ord. No. 609-15.
- Metroparks wishes to add additional City-owned land into the Lease on the westerly edge of the Columbus Road Peninsula
- This third amendment will allow Metroparks to construct an off-road trail that will connect Rivergate Park to Heritage Park and Settlers landing.



Cleveland City Planning Commission

Administrative Approvals



CITY OF CLEVELAND
Mayor Justin M. Bibb

August 1, 2025

Ord. No. 846-2025 (introduced by Council Members Bishop and Griffin – by departmental request) Determining the method of making the public improvement of designing and constructing or constructing, rehabilitating, renovating, replacing, or otherwise improving public facilities, buildings, and other similar structures, including site improvements and appurtenances; and authorizing the Director of Public Safety, Public Works, or Capital Projects, as appropriate, to enter into one or more public improvement contracts for the making of the improvements; enter into one or more professional services and other contracts needed to implement the improvement; to apply for and accept grants and gifts; and authorizing the direct employment of the necessary labor, for the Department of Public Safety, Public Works, or the Office of Capital Projects.

August 1, 2025

Ord. No. 847-2025 (introduced by Council Members Bishop and Griffin – by departmental request) Determining the method of making the public improvement of designing and constructing, rehabilitating, renovating, replacing, or otherwise improving recreation facilities, ancillary recreation buildings, parks, and playgrounds, and other similar structures or amenities, on City-owned and City-leased park property, including site improvements and appurtenances; and authorizing the Director of Parks and Recreation, Public Works, or Capital Projects, as appropriate, to enter into one or more public improvement contracts for the making of the improvements; enter into one or more professional services and other contracts needed to implement the improvement; to apply for and accept grants and gifts; and authorizing the direct employment of the necessary labor, for the Departments of Parks and Recreation or Public Works or the Office of Capital Projects.

August 1, 2025

Ord. No. XXX-2025 – Granting consent to the ODOT to construct the improvement on eastbound IR-480 entrance ramp at Ridge Road in the City of Cleveland; (PID 122289 CUY IR 480 13.04 Ramps); The City agrees to assume and contribute one hundred percent (100%) of the cost of any work included in the construction contract at the request of the City, which is determined by ODOT and the Federal Highway Administration to be ineligible or unnecessary for the Improvement; authorizing the Director of Capital Projects to enter into one or more agreements necessary to make the improvement.

August 1, 2025

Cleveland City Planning Commission

Special Presentations (for information only)



CITY OF CLEVELAND
Mayor Justin M. Bibb

August 1, 2025

Special Presentations (for information only)

Lakefront Development RFQ – Scott Skinner, Cleveland North Coast

August 1, 2025

Request for Qualifications for Development

Downtown Cleveland Lakefront *(Between West 3rd and East 9th Streets)*

Up to 50 acres of publicly owned waterfront land

In partnership with:



CITY OF CLEVELAND
Mayor Justin M. Bibb



Cleveland's
North Coast

CBRE



The Lakefront Opportunity

This Request for Qualifications is the first step for NCWDC and the City to engage with potential partners who have an interest in developing up to 50 acres in Downtown Cleveland along Lake Erie.

Development partners who are interested in serving as master developer, interested in developing a specific portion of the site, or developing a specific use should respond and indicate their type of interest. Our goal is to bring in expertise, resources, and experiences of reputable developers for the benefit of the City and region. We are asking interested developers to partner with us to deliver a project aligned with the guiding principles of the Lakefront Master Plan, drive activation, and spur new economic development.

Uses on the site could include but are not limited to housing, hospitality, hotels, corporate office, retail, recreation, entertainment, sports, cultural amenities, and public space.

The City of Cleveland and NCWDC have spent several years laying the groundwork for a transformed lakefront. Progress to date includes:

- **The North Coast Connector**
 - A \$284 million infrastructure project that is fully funded through federal, state, and local sources. It will create important connections to the Project Site via a 100-foot wide pedestrian Land Bridge, converting a highway to a boulevard that includes signalized intersections, and a significant amount of new pedestrian and bicycle pathways. This is the first phase of a planned \$447 million project that includes additional infrastructure investment further east of the project site and the construction of a multi-modal transit hub.
- **Innovative Financing Tools**
 - In 2024, the City established the Shore-to-Core-to-Shore TIF District over the entirety of its downtown to support major public improvement projects in the City. In 2025, the City and NCWDC established a New Community Authority (NCA) to support site specific infrastructure and public amenities on the Project Site.
- **Master Planning and Community Engagement**
 - The City spent over three years soliciting public engagement to determine the uses and values most desired by Cleveland residents and to build deep civic support for the development of the Project Site.
- **Placemaking and Activation**
 - In 2025, the City and NCWDC opened the North Coast Yard - a dynamic public space with consistent programming and hospitality. The NCY is an early activation of the Project Site and builds momentum for what's to come.



Process and Expectations

Interested parties will respond to this RFQ via the process outlined on Pages 27-29. A selection committee will evaluate responses and invite selected developers to formally submit a proposal. The selection committee is comprised of NCWDC Board Members, all of whom have been publicly appointed, as well as representatives from the City itself.

The selection committee will consider the following:

- Understanding of the opportunity and vision outlined in this document
- A demonstrated ability to successfully develop complex mixed-use projects in urban environments
- Experience in developing quality transformative projects with public partners
- A commitment to fostering diverse project teams

Once a proposal is submitted, the selection committee will conduct interviews and it is anticipated that a development partner or partners will be selected by the end of 2025.

The City of Cleveland and NCWDC are eager to partner with development groups who share our vision, guided by community input, for a developed lakefront that provides both equitable access to the waterfront and economic development opportunities. Several years of public engagement have resulted in the Values and Principles that drive our vision, outlined below:

- **Economic Opportunity**
 - *Strengthen connections between Downtown and Lake Erie and set the stage for future transformations across Cleveland's waterfronts.*
- **Racial Equity**
 - *Integrate thoughtful and equitable development centered around the core master plan values of access, equity, and environmental health, and prioritize wealth creation opportunities for historically marginalized communities.*
- **Climate Resiliency**
 - *Provide proactive, sustainability-first designs that not only protect against climate change but actively repair habitats, advance environmental justice, and build on Cleveland's legacy in leading the environmental movement.*
- **Joy**
 - *Balance and prioritize water access, community gathering spaces, nature and green spaces, and economic opportunities that encourage intergenerational and year-round use.*



Guiding Design Principles

The North Coast Master Plan outlined the following Design Principles that outline a vision for the Project Site:

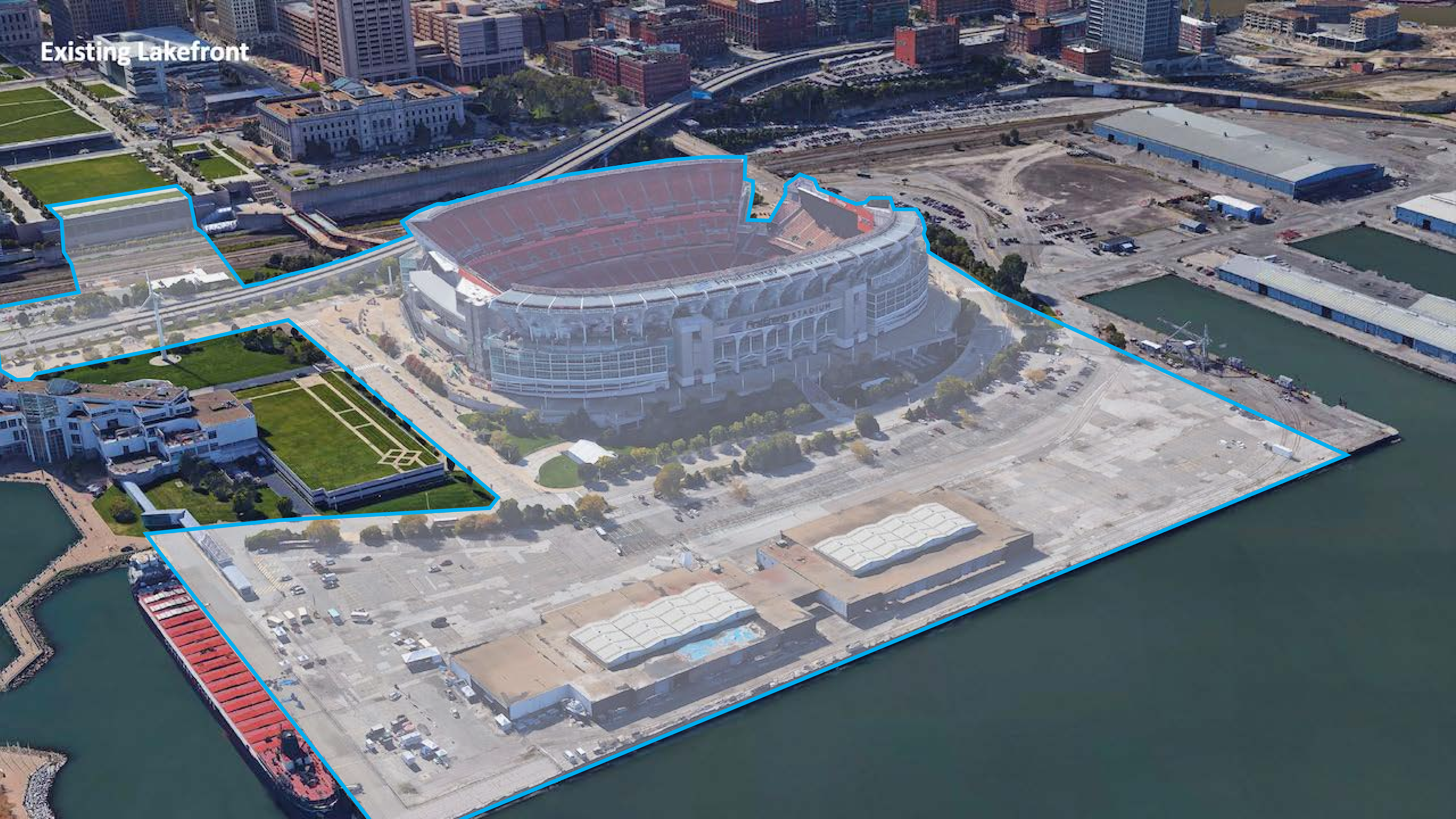
- Embrace the Skyline
- Embrace the Bluff
- Vary the Shoreline
- Celebrate the Working Waterfront
- Integrate Thoughtful and Equitable Development
- Center Equitable and Multi-Modal Transit
- Expand Water Access
- Connect Core to Shore
- Foster Joy and Activation



To align with the design principles to the left, NCWDC and the City would envision the following as priorities for development partners and a future project:

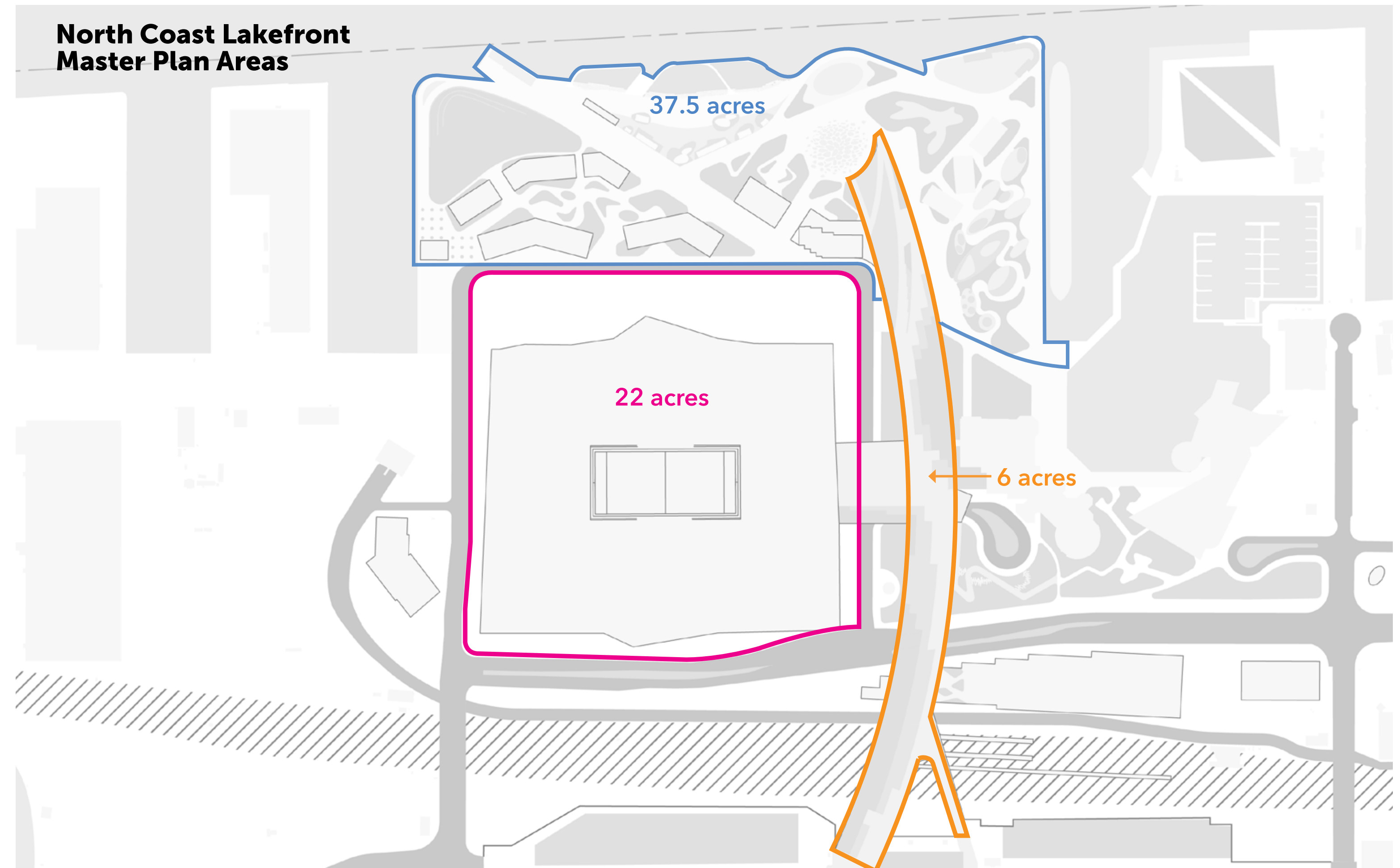
- Encourage public access and activation of the shoreline
- Design with a focus on quality, ensuring compatibility with public open spaces
- Protect key view corridors both towards the water and towards the downtown skyline
- Thoughtfully incorporate the proposed location and design of the Land Bridge
- Create a street grid that encourages a pedestrian friendly environment and incorporates the site into the downtown grid
- Incorporate community programs and public facing activities that enhance the ground floor
- Identify opportunities to work with local, small, and minority-owned businesses
- Set proactive sustainability goals
- Include a variety of housing types, with a to be determined percentage of affordable units
- Develop integrated parking structures
- Identify uses that will drive consistent activation of the site

Existing Lakefront



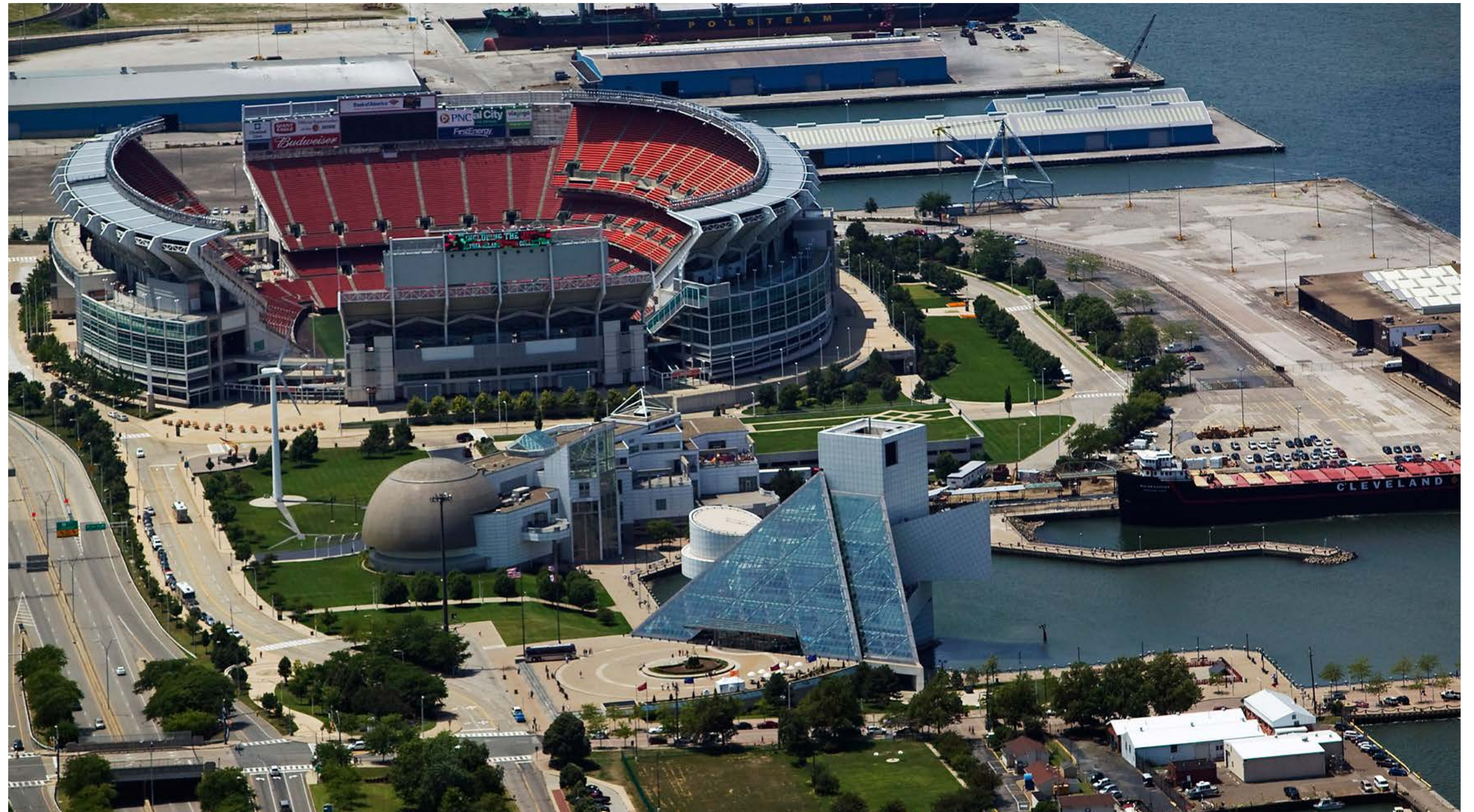
Lakefront Key Components

- Up to 50 acres of waterfront land
 - The Lakefront Master Plan anticipates approximately 15 acres of public park and/or privately operated publicly accessible space
 - A master developer will have the flexibility on how to integrate public space and a street grid. NCWDC and the City will work with development partners to determine street grid and shared amenities
 - The City's current assumption is that the stadium will be demolished in 2029 if the Browns move to Brook Park, Ohio. However, developers are also welcome to propose a reuse of the existing stadium
- Final configuration and proportions of these areas are flexible and will change based on input from selected developers.

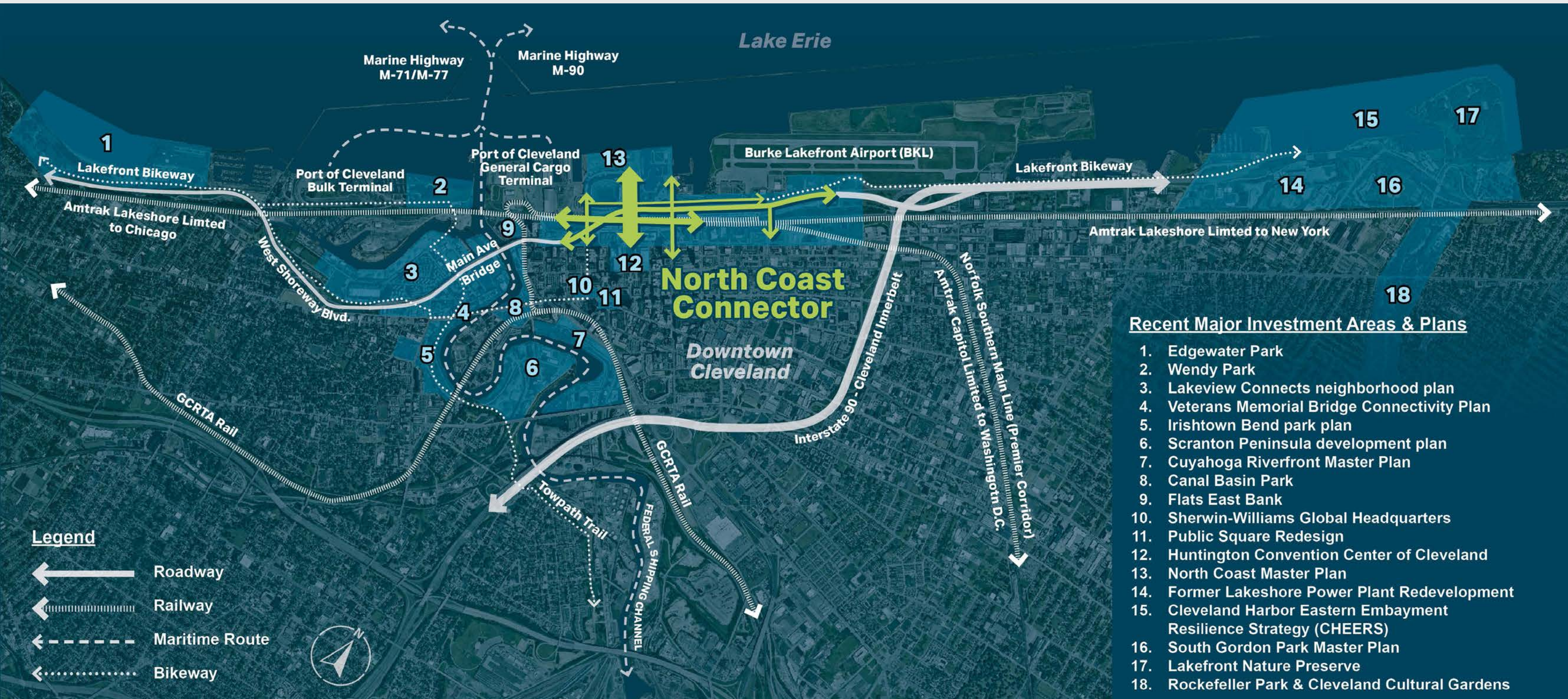


Access + North Coast Connector

To realize the Lakefront vision, the City is building a transformative infrastructure project to improve access to a historically constrained site called the NorthCoastConnector. The NorthCoastConnector consists of two main changes: constructing a 100+ foot wide pedestrian only land bridge connecting the site to Downtown, as well as transforming the highway that bisects the Project Site from Downtown into a City Boulevard with signalized intersections. The Project Site will benefit from better vehicular circulation, dramatically improved bike and pedestrian pathways, and separate traffic for the Lakefront and Port of Cleveland operations. This design will maintain and improve access to the Rock and Roll Hall of Fame, Great Lakes Science Center, and the Project Site. The goals of the North Coast Connector are to connect the Project Site to Downtown, drive new economic development, and encourage year-round use of the new Lakefront. Later this year the City will be releasing a separate RFQ to contract with a progressive design build team to construct the North Coast Connector with construction starting in 2027 and completed in 2030.



Cleveland's Connected Waterfronts



North Coast Yard

The North Coast Yard is a temporary pop-up park that activates the site and creates a sense of place in the interim time period before the site sees permanent development. It has attracted thousands of visitors since it opened on June 13 through regular recreation and music programs, food and beverage, and other events with both national and local partners.



RFQ Instructions

NCWDC and the City are seeking development partners who are interested in developing the Downtown Lakefront, as either a) master developer over the entire 50+-acre site, or b) developers of limited areas or c) developers of specific uses. Any potential development partner(s) must present an experienced team with resume in comparable projects, diverse backgrounds and expertise, and sufficient resources to execute on the planning and development for the Lakefront. If a master developer is not identified, NCWDC may coordinate with multiple development teams. To that end, CBRE has been authorized to present this RFQ for the purposes of evaluating the qualifications of potential parties.



Requested RFQ Content

Statement and Scope of Interest (3 pages max)

- Demonstrate Developer understanding of and commitment to stated project goals
- Developer's independent view of Cleveland's Lakefront and desire to participate in project
- Statements of development philosophy – generally or specific to this project
- Identify whether Developer's interest is as a master planner and developer over the entire 50+ acres, or only for a specific amount or portion of the site. Provide visuals if relevant.
- Identify whether Developer's interest is limited to specific uses or users identified in this RFQ
- Identify other uses or users Developer would have an interest in exploring for the site

Qualifications (15 pages max)

- Company Overview and History
- Current Leadership Team including point of contact
- Team Member Biographies and Relevant Project Experience
- Examples of Relevant Project Experience (Up to 5 examples)
 - o Project Overview, including scope, scale, and overarching project objectives
 - o Participating Team Members
- Financial commitment and structuring
- Current or prior work with City of Cleveland (not a requirement for project)
- Current or prior work or projects in Northeast Ohio (not a requirement for project)
- Statement on experience with public-private partnerships and creative financing tools
- Statement on commitment to fostering diverse development and construction teams

Project Approach (2 pages max)

- Provide input and suggestions to the Lakefront concepts outlined herein, including the vision, uses, and development grids, etc.
- Provide input and suggestions, if applicable, to the incentive opportunities and other creative solutions that have been integral to other projects in Developer's experience
- Demonstrate an understanding of the project, as well as some insight into how Developer views and approaches a project such as this

Project Engagement Timeline (2025)

July 15	RFQ release
August 29	Questions due
September 8	Responses to questions posted
September 19	Responses Due
September 29	Interview Notifications
October 6-17	Interviews
By October 24	Selections notified



Cleveland City Planning Commission

Director's Report



CITY OF CLEVELAND
Mayor Justin M. Bibb

August 1, 2025

Cleveland City Planning Commission

Adjournment



CITY OF CLEVELAND
Mayor Justin M. Bibb

Next Meeting: August 15, 2025